

Cliddesden Neighbourhood Plan Neighbourhood Plan – Referendum version 2022-2039



May 2024



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Introduction and Background

Purpose

1. In April 2012, the Localism Act 2011 (the Act) amended the Town and Country Planning Act 1990 through the National Planning Policy Framework (NPPF) and introduced new rights and powers to allow local communities to shape future development in their community by preparing a Neighbourhood Plan. This document is a Neighbourhood Plan as defined in the Act.

Submitting Body

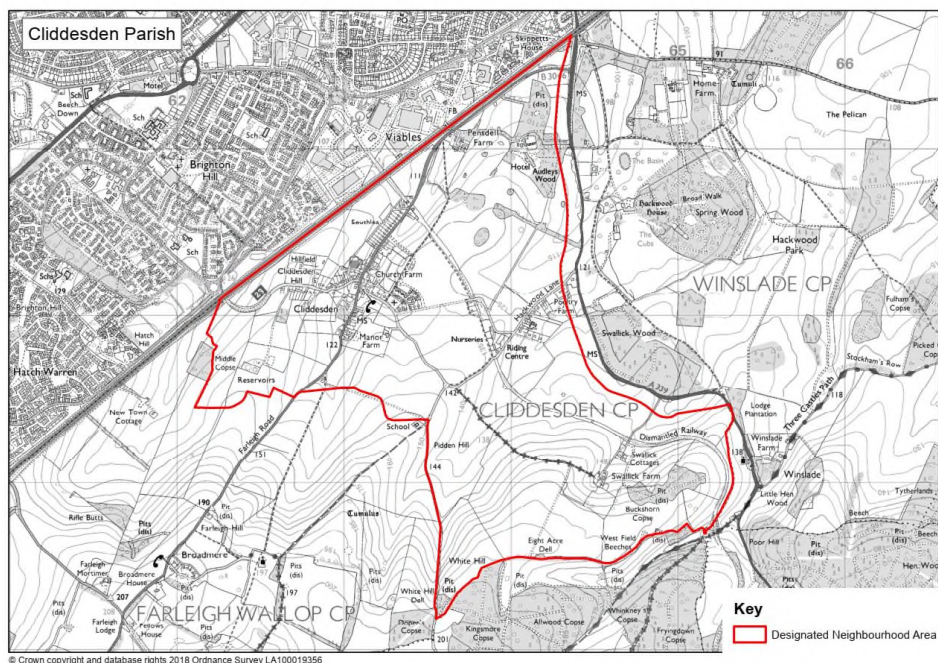
2. This Neighbourhood Plan has been prepared by Cliddesden Parish Council, which is a qualifying body as defined by the Localism Act 2011.

Support from Outside Organisations

3. Cliddesden Parish Council would like to extend their thanks and appreciation to a number of organisations that have helped develop the Neighbourhood Plan. This includes officers at Basingstoke & Deane Borough Council, AECOM and the Specialised Advice Service at South Downs National Park Authority.

Neighbourhood Plan Area

4. The Neighbourhood Plan applies to the whole of the Parish of Cliddesden (see Map 1 below) within the borough of Basingstoke and Deane.



Map 1 – Cliddesden Neighbourhood Plan Designated Area¹

¹ [Cliddesden Neighbourhood Plan Designated Area](#)

5. On 5th June 2018, Basingstoke and Deane Borough Council (B&DBC) approved the application for the proposed area for designation which includes the whole Parish of Cliddesden, which is situated within the Upton Grey and Candover Ward.
6. Cliddesden Parish Council confirms that this:
 - Neighbourhood Plan relates only to the Parish of Cliddesden and to no other Neighbourhood Areas; and,
 - is the only Neighbourhood Plan in the designated area. No other Neighbourhood Plan exists nor is in development for part or all of the designated Neighbourhood Area.

The development of the Cliddesden Neighbourhood Plan

7. Cliddesden Parish Council prepared a Regulation 14 Pre-Submission Cliddesden Neighbourhood Plan (CNP) and the supporting evidence base and formally published the documents for Regulation 14 consultation from Tuesday 15th February to Wednesday 30th March 2022. Following the public consultation, the plan has been modified to address the comments raised during the consultation. The updated and amended version of the CNP was submitted to B&DBC for Examination, this version of the plan is known as the Regulation 15 Cliddesden Neighbourhood Plan. The CNP was submitted with a number of supporting documents, including the updated evidence base documents, Basic Conditions Statement, Consultation Statement, Screening Opinions for Strategic Environmental Assessment and Habitats Regulation Assessment and Equalities Impact Assessment. The Regulation 15 CNP was subject to a seven week public consultation running from 24th November 2023 to 12th January 2024. Following this period of consultation, the CNP and submitted representations were considered by an independent Examiner. The outcome of the independent Examination was published in the Examiner's report on 2nd April 2024. The Examiner's report set out a number of modifications which were required to ensure the CNP met the Basic Conditions. Those modifications have been made, in this, the Referendum version of the CNP.

Consultation

8. The evidence base and community engagement programme helps identify the key issues for the area. These inform the aims and vision for the community. The overall vision and individual Neighbourhood Plan aims for Cliddesden will be delivered through policies and, where appropriate, allocations and Local Green Space designations. The Neighbourhood Plan has been subject to a formal Regulation 14 consultation which was carried out between Tuesday 15th February 2022 for a period of 6 weeks to Wednesday 30th March 2022 and a second public consultation (Regulation 16 consultation) from Friday 24th November 2023 to 12th January 2024.

National Planning Policy

9. The National Planning Policy Framework² (NPPF) sets out the Government's planning policies for England and how these should be applied. It provides a framework within which locally prepared plans for housing and other development can be produced.

² [National Planning Policy Framework](#)

10. Planning law requires that applications for planning permission be determined in accordance with the development plan, unless material considerations indicate otherwise. The NPPF is an important material consideration that must be considered in preparing local and neighbourhood plans and is also a material consideration in planning decisions. Planning policies and decisions must furthermore reflect relevant international obligations and statutory requirements.
11. The NPPF contains the national policies relevant to Neighbourhood Planning and to issues covered by the Cliddesden Neighbourhood Plan (CNP).

Local Planning Policy

12. The Basingstoke and Deane Local Plan 2011-2029³ (BDLP) was adopted in May 2016. It provides strategic and site-specific planning policy for the borough, setting out how it should evolve and grow during the plan period.
13. The BDLP is evolving, with a new, emerging Local Plan currently in the process of policy drafting following council agreement on 16th May 2019 to launch the preparation of an updated Local Plan. Where possible the CNP has avoided making direct references within the policies and supporting evidence to policies of the adopted Local Plan, as these may quickly become out of date. The Local Plan update is progressing through the statutory process. The first formal consultation on the updated local plan was held between September and November 2020⁴. The Basingstoke and Deane Local Plan Update was subject to formal regulation 18 consultation from Monday 22 January 2024 to Monday 4th March 2024. The intention of the Council is to publish the Regulation 19 submission version of the plan in Winter 2024/25 and adopt the plan by Winter 2025/26. Where relevant, policy justification refers to the adopted Local Plan, but also references the emerging Basingstoke and Deane evidence base documents and policies where appropriate. The CNP team have maintained an open dialogue with the Borough Council to ensure, as far as possible, alignment with the emerging local plan.
14. In developing planning policies for the emerging neighbourhood plan, the Parish Council has ensured they have not repeated existing national and local planning policies in order to avoid overlap and repetition between policies. In a robust neighbourhood plan, policies either increase the effectiveness and/or specificity of local plan policies (i.e. by adding local criteria and/or taking local context into account) or propose a policy where there was previously a policy gap.
15. The CNP provides a local dimension to the Local Plan's strategic context and requirements, based on robust neighbourhood level evidence. The CNP does not critique the Local Plan or seek to duplicate existing policy.

Sustainable Development

16. The NPPF 2023 states that sustainable development needs to be pursued in a positive way. At the heart of the Framework is a presumption in favour of sustainable development.
17. For plan-making this means that all plans should promote a sustainable pattern of development that seeks to: meet the development needs of their area; align growth and infrastructure;

³ [Basingstoke and Dean Adopted Local Plan](#)

⁴ [Basingstoke and Dean Local Plan Update](#)

improve the environment; mitigate climate change (including by making effective use of land in urban areas) and adapt to its effects.

18. Section 12 of the NPPF 2023 focusses on well-designed places. Paragraph 131 provides support for ensuring good design is an integral part of new development. It states that the creation of high quality, beautiful and sustainable buildings and places is fundamental to what the planning and development process should achieve. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities.
19. The current Basingstoke and Deane Local Plan actively encourages the inclusion of energy conservation measures into all new housing developments. This approach is supported by the residents of Cliddesden and reflected in the CNP.
20. The Cliddesden Neighbourhood Plan includes Policy DD4 – Domestic Energy Generating Infrastructure. This policy supports, in principle, proposals for energy-generating infrastructure which uses a renewable energy source. This policy aims to reduce the impact of climate change and attempt to uphold the principles of sustainable development as set out in the NPPF. Subject to the other policies of the Plan, sustainable buildings and sustainable forms of construction will be supported. Proposals should seek to maximise energy efficiency. Policy DD5 Flood Risk, also seeks to adapt to the impacts of climate change and requires new development of a certain scale to provide sustainable urban drainage solutions.
21. The Leisure and Wellbeing policies will also contribute to the achievement of sustainable development, the protection of existing community facilities and where possible introduction of new facilities will ensure an appropriate provision of community infrastructure to support local communities, which is a key aspect of a sustainable settlement. Furthermore, the Policy TM2 seeks to improve the existing footpath and cycle network in the village to encourage active travel and reduce the need for private car use, this will also contribute to creating a more sustainable settlement. The main focus of the CNP has been to protect and enhance the natural environment within which the village lies. This is a key aspect of sustainable development, and the suite of environment policies will make a significant contribution to tackling the effects of climate change and creating a sustainable village, which provides for wildlife as well as residents and visitors.
22. Basingstoke & Deane Borough Council provided a Strategic Environmental Assessment (SEA) and Habitats Regulations Assessment (HRA) Screening Opinion in October 2021. This screening opinion has been underpinned by a detailed report and the opinions of the three consultation bodies (Environment Agency, Natural England and Historic England). The screening process undertaken concludes that in order to meet the 'basic conditions for neighbourhood planning an Environmental Assessment is not considered to be required to accompany the Cliddesden Neighbourhood Plan, and it would not need to be subject to HRA. The screening opinion has been reviewed by the Borough Council to consider nutrient neutrality matters, the Borough Council have confirmed the assessment and concludes that in order to meet the 'basic conditions for neighbourhood planning an Environmental Assessment is not considered to be required to accompany the Cliddesden Neighbourhood Plan, and it would not need to be subject to HRA.

Timescale of Neighbourhood Plan

23. The Cliddesden Neighbourhood Plan timescale is 2022 – 2039. This end date aligns with the proposed end date of the updated Local Plan⁵. However, it is the intention that the CNP will be reviewed in due course as the Local Plan review continues further through the formal process.

⁵ [Local Development Scheme \(basingstoke.gov.uk\)](http://basingstoke.gov.uk)

Portrait of the Parish

24. The Cliddesden Neighbourhood Plan Area is in north-east Hampshire, within the Borough of Basingstoke and Deane. It is located to the south of the M3. The total area of the Cliddesden Neighbourhood Plan Area is approximately 454 ha and, according to the census 2011, the population is 497. The Position Statement July 2020 produced by the CNP steering Group and saved on their website⁶ provides further information on neighbourhood statistics.
25. The Neighbourhood Area comprises the small village of Cliddesden, as well as small groups of houses near the site of the former railway station (Station House and Railway Cottages), a small group of houses in Hackwood lane and a small group of houses at the southern edge of the Parish at Swallick Farm. The Parish contains the Audleys Wood Hotel and Pensdell Farm.

Location

26. The Neighbourhood Area adjoins the M3 to the North and the A339 Alton Road to the East. The north-west boundary of the Neighbourhood Plan Area is defined by the M3 motorway, which separates densely developed Basingstoke to the north from small villages and hamlets scattered across the countryside south of the M3.
27. Cliddesden is connected to the west of Basingstoke by Woods Lane, and to the east by the B3046. The B3046 links to the A339, which connects Cliddesden with Alton to the south. The M3 provides a long distance south west – north east link from Southampton to London. Junction 6 is the nearest junction. National Cycle Route 23 runs through the Neighbourhood Plan Area, connecting the area to Basingstoke and Reading to the north, and Winchester and Southampton to the south.
28. The nearest railway station is in Basingstoke, with services to the south and west towards Exeter and Portsmouth and to the east towards London.

Landscape, Ecology and Heritage

29. The Neighbourhood Plan Area sits within a wider countryside setting, which contains a wealth of landscape, ecology and heritage features.
30. Cliddesden lies in a valley marking the northern edge of an area of undulating downland, characterised by chalk over flint deposits and clay-capped plateaux on the higher ground. Large scale agricultural activity has contributed to the “open” nature of the landscape leading to some hedgerow loss. This openness means that views are broad and largely uninterrupted, giving a sense of space and tranquillity.
31. Important landscape features are formed by the parkland estates of Hackwood Park and Farleigh House which adjoin Cliddesden to the east and south respectively. Despite the wide views across the surrounding countryside, Cliddesden itself lies largely concealed in the folds of the valley and the tree cover within the village. This tree cover is an important contributor to the character of Cliddesden within the landscape, with the horse chestnuts at Church Farmhouse being a good example of mature and valuable trees.

⁶ [Cliddesden Neighbourhood Plan Position Statement](#)

32. Ancient Woodland can be found at Buckshorn Copse in the south-east of the Neighbourhood Plan Area, whilst Ancient Replanted Woodland and Priority Deciduous Woodland Habitats can be found around Audley's Wood to the northeast. Wood pasture and Parkland (BAP Priority Habitat) can also be found around Audley's Wood, whilst at White Hill Dell to the south-west of the Plan Area there is a small pocket of Priority Deciduous Woodland at the disused pit. Cleresden Meadow, an arable reversion to a traditional wildflower meadow is designated as a Site of Importance for Nature Conservation.
33. The Cliddesden Conservation Area was designated in 1981 by Basingstoke and Deane Borough Council to recognise special architectural heritage, and to manage and protect this special architectural and historic interest of the centre of the village.
34. There are 15 listings (covering 19 buildings), of which most are located within the conservation area, with the exception of Audley's Wood (Grade II), which is located to the north-east of the village.

Settlement Pattern

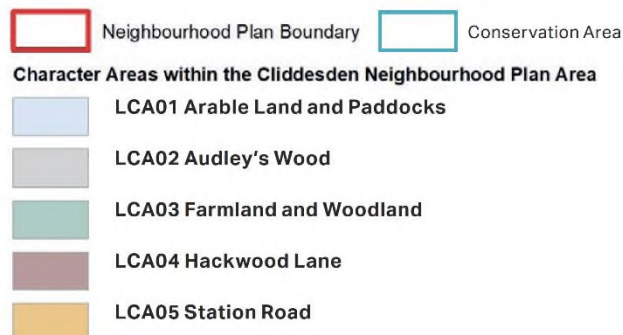
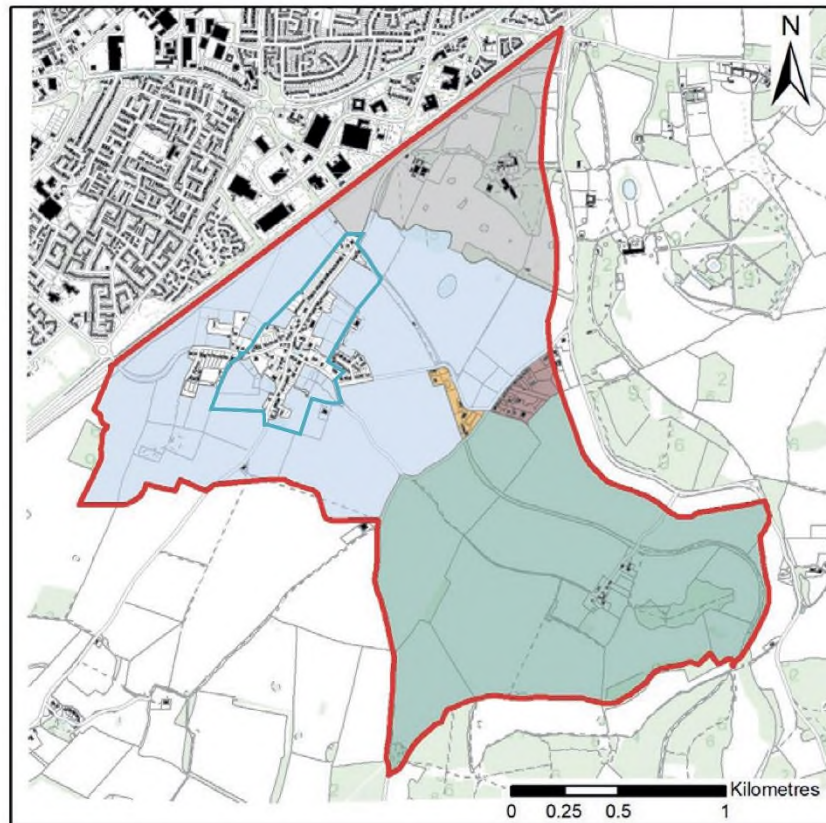
35. The pattern of settlement in the Neighbourhood Plan Area has developed over thousands of years, with the first known inhabitants of the area settling in the Swallick Farm area in Neolithic times. Cliddesden evolved from the estate of the Manor of Cliddesden, noted in the Domesday Book, and by 12th century St. Leonard's Church had been constructed.
36. The 19th century saw the most rapid expansion in the settlement of Cliddesden, and since then the village has continued to expand. Outlying development at Station Road came with the railway in 1901, and plots at Hackwood Lane were gifted to returning soldiers following the end of the First World War.
37. Cliddesden's village core is centred around the pond where Woods Lane, Church Lane and Farleigh Road converge. However, development has spread along each of the converging streets, resulting in a much more linear character over time.
38. Development rarely extends beyond the first row of plots adjoining streets, and this 'one-plot-deep' character found mainly in the main settlement contributes to the rural character of the village, as there are views out to fields from most parts of the village.
39. Many parts of the Neighbourhood Plan Area have an overarching sense of enclosure, created by high hedges, sunken lanes and banks aligning the road, such as at Woods Lane, Church Lane and along roads in the south of the area.

Community

40. Cliddesden comprises primarily residential land use, complemented by commercial and business units. Manor Farm and Black Barn have been converted into office developments. The Village Hall and The Jolly Farmer public house are important community hubs.

Character Areas

41. Five broad character areas have been identified within the Neighbourhood Plan Area as set out within the Design Code 2024 (map 2). In addition, five distinct character areas have been identified within the settlement of Cliddesden (map 3). These character areas were identified through desk study and field work and are shown on the maps below:



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Map 2 – extracts from Design Code 2024 showing character areas⁷

⁷ [Cliddesden Design Code](#)



Village Character Areas

- LCA06 Farleigh Road - thatch and barn
- LCA07 Farleigh Road - semi-detached
- LCA08 Village Core
- LCA09 Hoopersmead
- LCA10 Woods Lane
- Conservation Area
- Settlement Policy Boundary (Local Plan Policy SS1)

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Map 3 – extracts from Design Code 2024 showing village character areas

Community Involvement and Evidence Gathering

42. The development of the Cliddesden Neighbourhood Plan started in earnest in June 2018 when the Cliddesden Neighbourhood Plan area was designated by the local planning authority, Basingstoke and Deane Borough Council.
43. Calls went out to the local community in the annual Parish assembly meeting in May 2018, to seek volunteers to help work on a Neighbourhood plan. As a result, a number of volunteers met in June 2018 and a Steering Group was formed comprising representatives from the Parish council and Cliddesden residents. Following this, the steering group started to explore the various Plan themes.
44. A Vision, Aims and Objectives were drafted by the Cliddesden Neighbourhood Plan Steering Team. This draft was shared with the local community as part of the Cliddesden Neighbourhood plan open day, in November 2018. This was a major consultation exercise designed to explore the views of residents on plan related matters. It involved the sharing of the draft Vision, Aims and objectives with the local community.
45. An extensive programme of engagement activities was undertaken, which ensured that the community had the opportunity to input into the emerging work at every stage. This included:
 - Cliddesden Neighbourhood plan Open Day November 2018;
 - Cliddesden Neighbourhood Plan Website and Facebook 2019;
 - Open day consultation report;
 - Community questionnaire (May 2019) and report;
 - Interested parties' questionnaire (Feb 2020) and report;
 - Issues and Options supporting report (includes Vision, Aims and Objectives);
 - Issues and Options questionnaire (September 2020);
 - Issues and options result report;
46. Hundreds of hours of volunteer time were dedicated to giving residents increased control over future local land use, including monthly meetings of the Steering Group (conducted via video link during the Covid 19 pandemic) and numerous meetings and telephone conversations with consultants and Basingstoke and Deane Borough council.
47. A community questionnaire was hand delivered in May 2019. A total of 188 people completed the questionnaire, representing 37.22% of the population. A graph in the report of results⁸ shows the range of ages of respondents and how this generally reflects the age range in the community.
48. Interested parties' survey was delivered to businesses, landowners and community organisations in the parish. A total of 6 organisations responded to the survey, representing 18% response rate.

⁸ [Cliddesden Community Questionnaire](#)

49. An Issues and Options consultation (September 2020), hand delivered, resulted in 179 responses, 174 from residents. A supporting Issues and Options report accompanied the survey and included a Vision statement, and draft proposals for Local Green spaces and Important views.
50. The Community Questionnaire and Issues and Options surveys have been hand delivered to all houses in the parish to maximise the opportunity for the community to be involved.
51. Data from the Issues and Options consultation was analysed and published in an Issues and Options results report in February 2021.
52. From February 2021 the key focus of the work was primarily to prepare the content and policies for the 'Pre-submission Document' (the draft CNP). Update articles have been published in the Village Newsletter, on Facebook and on the Website. Presentations have been provided at the annual Parish assembly meetings.
53. Regular meetings and discussions with B&DBC have taken place on each of the topic areas covered by the Plan. Verbal Updates have been provided in the Parish council meetings. In addition, written updates are provided through the minutes of the Parish Council and Neighbourhood Plan Steering Group meetings.
54. In October 2021, the draft Regulation 14 Neighbourhood Plan was sent to Aecom, a consultancy body who had been appointed by the Government to support Neighbourhood Planning groups. The consultants were tasked with carrying out a high-level review of some of the CNP policies and supporting evidence.
55. Following feedback by Aecom, the CNP steering group commissioned the Specialist Advisory Service to compile the policies and supporting evidence into a formal Regulation 14 Neighbourhood Plan which would be published for the first statutory phase of public consultation.
56. The Pre-Submission Plan and supporting evidence base was published on Tuesday 15th February 2022 for a period of 6 weeks to Wednesday 30th March 2022
57. The Pre-Submission consultation was advertised in the village newsletter, the CNP webpage and Social Media outlets across the village. This included local landowners and businesses. Posters were also placed in key points around the village. Between Saturday 12th Feb and Monday 14th Feb community consultation letters and form was delivered to households, businesses, principal landowners and community groups in the Parish. These were mainly delivered by hand delivery. A small number were delivered by email. A separate email and document were sent to all statutory consultees. Paper copies of the Plan were put on display in Basingstoke Library and Cliddesden Village Hall
58. There were 124 responses to the Pre-Submission regulation 14 consultation. Most responses were from residents and local businesses with 115 comments. There were also responses from the Statutory Authorities (6) and from landowners / developers (3). Comments from residents and businesses were mostly supporting the CNP or thanking the group for their hard work and effort in the production of the CNP. Many of these representations commented on how the CNP had successfully reflected the wider views, aspiration and concerns of local people,

translating these issues into effective planning policy to protect and enhance what was considered important and valuable locally.

59. The CNP team have considered carefully all comments received. In response to some comments the CNP team have made some modifications to the CNP, for example two Local Green Spaces have been withdrawn from the plan and others have had their area reduced to reflect new information submitted through the regulation 14 consultation. In some cases, the CNP team have made modifications to policies, or redrafted policies to ensure they are precise, concise and able to be implemented consistently by decision makers. The CNP team have also reviewed some of the evidence base to ensure there is an appropriate level of information to support the policy approach. The CNP team feel they have considered all comments submitted through the regulation 14 consultation and where appropriate made necessary modifications. Further information on the comments received during Regulation 14 consultation, and the CNP responses can be found in the [Consultation Statement](#).
60. The Cliddesden Neighbourhood Plan was submitted to the Local Planning Authority on 30th October 2023 for Independent Examination. The Plan was published for Regulation 16 consultation for a seven week period from Friday 24th November to Friday 12 January 2024. Following this public consultation the Submission version of the Plan and representations were examined by an Independent Examiner who concluded, that with a series of modifications, the CNP could proceed to referendum.
61. More details on community engagement can be found on the Cliddesden Parish Website: [Cliddesden Neighbourhood Plan Website](#).
62. The Neighbourhood Plan has also been developed with an extensive evidence base, including a range of studies and reports which can be seen on the webpages: [Cliddesden Neighbourhood Plan Website](#)
63. The evidence base includes a wide variety of documents, and these set out in the references table at the end of this document.

Vision and Objectives

What are Vision, Aims and Objectives?

64. The vision is a statement that describes what we hope our area will be like in the future. It can include what we want the area to look like, the facilities that will be provided and what sort of place it will be to live and work in.
65. The Aims & Objectives will set out how you intend to make your vision happen. There may be more than one aim and objective for each element of the vision depending on the priorities the community have highlighted. Detailed policies and actions can then be developed from the objectives.
66. The Vision, Aims and Objectives evolved during the initial stages of the neighbourhood plan. Early drafts developed by the NP team with the help of consultants and were shared with the community as part of the open day consultation. The draft Vision, Aims and Objectives were then refined in line with feedback from the community during consultations.
67. The final version was shared as a part of the Issues and Options consultation and received a high level of support. There was a 95% positive response for the Vision Aims and Objectives in the consultation.
68. It was noted throughout the consultation process that the Neighbourhood Plan could only deal with matters related to planning and land use. The Neighbourhood Plan team took the opportunity to communicate with the community and try to manage expectations in terms of what could be addressed via the Neighbourhood Plan.
69. Community aspirations were identified as a part of the Neighbourhood Plan process, where a policy would not necessarily be appropriate. Such aspirations could be addressed as separate projects by the Parish Council.

Vision for Cliddesden

In 2039 Cliddesden Parish will continue to be secure in its identity as a small and thriving rural settlement physically and distinctly separate from Basingstoke. A community surrounded by fields and woodland which is interwoven with “green fingers” of open landscape. Any new development will be expected to blend in with the existing village and houses will be of a size and tenure to suit the needs of local people of all ages.

Its future growth will happen proportionally, organically and sustainably with development taking place alongside the necessary growth in the local infrastructure and services.

Aims and Objectives of the Cliddesden Neighbourhood Plan

70. Environmental and Heritage

Aim: To maintain the distinctive rural nature and landscape setting of Cliddesden.

Objectives:

- Maintain and enhance the rural character of Cliddesden and preserve the Conservation Area.
- Retain and enhance Cliddesden's narrow winding lanes, trees, hedge rows, verges and wildlife corridors.
- Maintain the visual and physical separation of Cliddesden from the urban expansion of Basingstoke by means of a "Local Gap."
- Protect and enhance wildlife and biodiversity.
- Preserve Cliddesden's natural and historic heritage.
- Maintain and enhance local green space such as Cleresden Meadow, the pond area and the "green fingers" referred to in the "Village Design Statement".
- Protect existing views and vistas within the plan area which help to give a sense of space and tranquillity.
- Reduce light pollution within the plan area.
- Aspiration: To reduce flooding and drainage issues in the village.

71. Design and Development

Aim: To promote developments that meet the needs of the community

Objectives:

- Deliver housing to meet the identified housing needs of the plan area.
- Ensure that new development is of high quality and small scale and reflects the layout and rural character of the surrounding area.
- Ensure that future housing growth reflects the need to address the imbalance between large and small houses in the village.
- Promote energy efficiency and sustainability.

72. **Traffic and Movement**

Aim: To promote healthy living and connectivity between all areas of Cliddesden

Objectives:

- Protect, and where possible extend the footpath network within the parish to improve access to the countryside. To ensure that new development provides for cyclists and pedestrians to connect to key services.
- Seek solutions to the problems of speeding and road safety in the village and ensure these problems are not made worse by future housing growth.

73. **Leisure and Well Being**

Aim: To promote the sense of community and wellbeing in the village of Cliddesden

Objective:

- Protect existing community facilities and to support enhancement or provision of new community facilities.

Neighbourhood Plan Policies: Heritage



Well House

Policy Background

74. Section 16 of the 2023 NPPF - Conserving and enhancing the historic environment – outlines how plans should set out a positive strategy for the conservation and enjoyment of the historic environment, including heritage assets most at risk through neglect, decay or other threats (paragraph 196). Paragraph 209 states that the effect of an application on the significance of a non-designated heritage asset should be considered in determining the application.
75. The Basingstoke & Deane (B&DBC) adopted Local Plan contains several policies that seek to protect the heritage assets of the Borough. Paragraph 6.78 states that the borough’s historic environment is an important asset forming a vital part of the area’s character and local distinctiveness. Heritage assets are highly valued for the positive contribution they make.
76. Policy EM11 – The Historic Environment ensures that all development must conserve or enhance the quality of the borough’s heritage assets in a manner appropriate to their significance.
77. Paragraph 6.89 states that in addition to statutory designations, there are a number of non-designated heritage assets across the borough, including historic buildings, archaeological sites and historic landscapes that do not currently have statutory protection.
78. The Issues & Options Consultation Paper for the Local Plan Review⁹ suggests (at paragraph 9.9.3) that the current policy and supporting Heritage Supplementary Planning Document (2019) have been successful in protecting the borough’s heritage and remain broadly compatible with

⁹ [Issues and Options Consultation Summary](#)

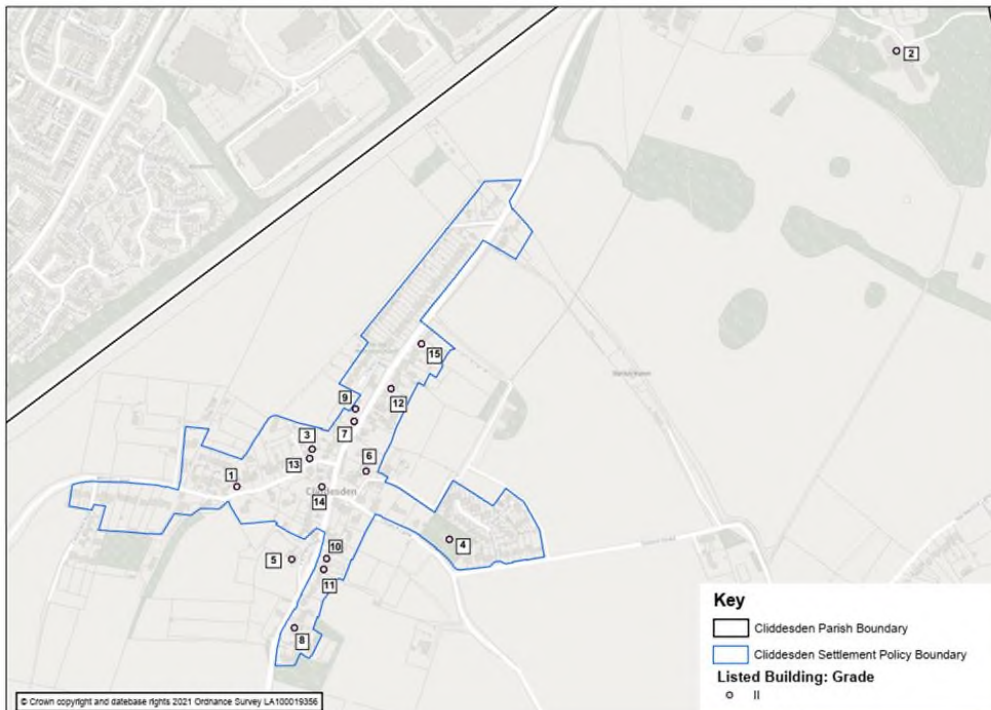
national guidance. It is therefore appropriate for the current policy approach to remain largely unchanged.

79. Key documents that underpin the policies in this section include the Cliddesden Conservation Area Appraisal 2003, Cliddesden Design Code 2024 and the Village Design Statement 2004.

Listed Buildings

80. Within Cliddesden Parish there are 19 listed buildings – all of Grade II listed standard. These buildings and their settings are protected in accordance with borough and National Policies. The Grade II Listed Buildings within Cliddesden NP Boundary are listed below and shown on the accompanying map:

- | | |
|------------------------------|-----------------------|
| 1. 10, Woods Lane | 9. Old School House |
| 2. Audley's Wood | 10. 1,2,3 Rectory Row |
| 3. Barn at Laithe House | 11. 4,5,6 Rectory Row |
| 4. Church of St Leonard | 12. Thatches |
| 5. Cliddesden Down House | 13. The Laithe House |
| 6. Granary at Church Farm | 14. Well House |
| 7. Jolly Farmer Public House | 15. Yew Tree Cottage |
| 8. Manor Farm House | |

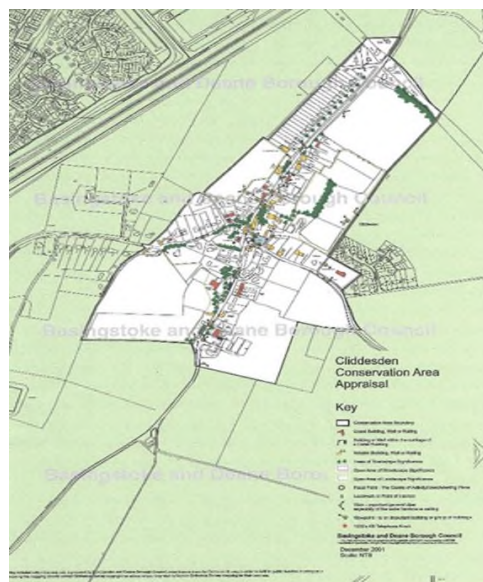


Map 4 Listed buildings (shown by dot and number) within NP boundary.

81. There are seventeen listed buildings located within the Cliddesden Conservation Area. The listed buildings date mainly from the 17th and 18th centuries and are dispersed throughout the village. Often located at key visual points within the street scene, they make a significant contribution to the special qualities of the Conservation Area. Most have retained their vernacular form and materials, particular to this part of Hampshire, including timber-frame and thatch, examples of which include The Well House and Laithe House which both date from the 17th century. Characteristic of other timber-framed structures in the village, the original panels between the timber elements of the cottages have been replaced by mellow red brickwork, sometimes in decorative patterns¹⁰

Conservation Area

82. The Cliddesden Conservation Area was designated in 1981 by Basingstoke and Deane Borough Council to recognise special architectural heritage, and to manage and protect this special architectural and historic interest of the centre of the village.
83. The settlement of Cliddesden has developed in an irregular pattern along the north/south road, which runs through the village. At the centre of the settlement a pond can be found located adjacent to a staggered crossroads and a small green. The 12th century church stands alone near the road to the east on the periphery of the village. As churches often form the focus for settlement, the existing settlement pattern may be a result of a shift away from the church.
84. The Conservation Area Appraisal 2003¹¹ identifies those buildings, views, and key features considered essential to the special character or appearance of the Conservation Area. In addition to listed buildings, it also includes unlisted buildings of particular individual or group value. This is not to undermine the value of other unmarked buildings or structures that reflect the historic development of the village without detracting from its special qualities.



Map 5 showing Cliddesden conservation area

¹⁰ [Cliddesden Conservation Area Appraisal](#)

¹¹ [Cliddesden Conservation Area Appraisal](#)

85. Brick walls define and contain several historic curtilages in the Conservation Area, the most notable of which are the boundary walls fronting the roadside to Church Farmhouse, Cliddesden Down House and The Vine House. The flint and brick boundary walls to The Well House are also of significant visual and historic value. There are a number of other walls that greatly contribute to the texture and grain of the area, for example, an extensive chalk cob wall within the grounds of Church Farmhouse. Adjacent to the pond is a 1930's K6 red telephone box that helps define this important public space.
86. Although mainly residential in character, the overall appearance of the Conservation Area is informal. This is a result of the vernacular form and traditions of the historic buildings. In particular the prominent contribution of the farm complexes and thatched cottages; the integral relationship of key spaces, mature trees and hedgerows in the streetscape; and the overall situation of the settlement within a rolling farmland setting. Indeed, the landscape contributes significantly to views into, through, and out of the village¹².



Farleigh Road thatch and barn

Materials

87. Cliddesden is characterised by a variety of vernacular building materials and traditions. These include mellow red brick, timber-frame, flint, chalk cob, orange/red roof tiles, and thatched roofs. These follow no single pattern throughout the area.
88. Timber-framing is still apparent and is generally associated with hipped or half hipped thatched roofs. Early brickwork, as a material of status, is used distinctively to infill the timber-framing of houses and for the buildings of intended grandeur such as the former Rectory (Cliddesden Down House) and Church Farmhouse. Its general availability in the later 18th and 19th century is reflected in its use on less important or agricultural buildings sometimes with flint. These later buildings, with their low-pitched roof slopes, also demonstrate the increasing availability of slate as a roofing material. Horizontal weatherboarding to agricultural buildings, such as the granary and barn at Church Farm, strongly reinforces the vernacular building traditions of the rural settlement.
89. There has been a consistent message from the community, throughout both consultations about the need to protect the historic setting of listed buildings and heritage assets and how developers need to demonstrate how developments are aligned with the character of the area.

¹² [Cliddesden Conservation Area Appraisal](#)

Responses to Question 2 of the 2019 community engagement questionnaire showed there was strong support for “Preserving the historic heritage of the parish”. Question 4.4C of the 2020

90. Issues and Options Questionnaire showed that 98.3% of respondents supported a policy which would protect the historic setting of listed buildings and heritage assets and require developers to demonstrate how developments are aligned with the character areas as defined in the Design Code 2024¹³.

POLICY HI: Heritage Assets

Development proposals will be supported within or adjacent to Cliddesden Conservation Area provided they:

- a) respect the historic fabric of the area; and
- b) conserve or enhance the character and appearance of the Conservation Area, the buildings within it and its setting; as described in the Conservation Area Appraisal Document 2003 and any replacement Conservation Area Appraisal; and
- c) have regard to the design principles set out in the Village Design Statement 2004 and Cliddesden Design Code 2024; and
- d) use traditional and vernacular building materials which respect the context of the development concerned.

Evidence Source

BDBC Heritage Supplementary Planning Document (2019)

Cliddesden Conservation Area Appraisal 2003

Design Code 2024

Village Design Statement 2004

Map of Settlement Policy Boundary and Listed Buildings

Ordinance Survey Map of listed buildings from Historic England

Historic England National Heritage List for England

Cliddesden Community Consultation Results

Heritage Assets Background Paper – Cliddesden Parish Council

¹³ [Cliddesden Design Code](#)

Neighbourhood Plan Policies: Housing and Residential Development

Policy Background

91. Paragraph 60 of the NPPF 2023 states that in order to support the Government’s objective of significantly boosting the supply of homes, it is important that a sufficient amount and variety of land can come forward where it is needed, that the needs of groups with specific housing requirements are addressed and that land with permission is developed without unnecessary delay.
92. The size, type and tenure of housing needed for different groups in the community should be assessed and reflected in planning policies and in rural areas, planning policies and decisions should be responsive to local circumstances and support housing developments that reflect local needs.
93. The B&DBC Adopted Local Plan 2011 - 2029 (ALP) Policy SS5 has identified that it is necessary to identify sites / opportunities to deliver at least 10 homes within or adjacent to the existing defined settlement boundary of Cliddesden. Policy SS5 states that B&DBC will support the relevant parish/town council and other representatives from local communities to identify the most appropriate means of meeting this requirement, through Neighbourhood Planning, rural exceptions schemes, or a review of Settlement Policy Boundaries. Whilst 10 new houses have been completed since 2011, and a further 12 have or are in the process of receiving planning approval, it is appreciated that this does not meet the requirement for sites or opportunities to be identified as set out in Policy SS5. This is explained further in Paragraph 4.67 of the ALP.
94. The development of approximately 22 homes since 2011 will not qualify as meeting the need for housing development as set out in Policy SS5 for the settlement of Cliddesden. Cliddesden will be required to identify sites or opportunities to deliver a minimum of 10 dwellings over and above the approximate 22 homes developed since 2011.



Map 6 settlement boundary

95. B&DBC are currently undertaking a review of the local plan. The Local Plan Update evidence base includes a Settlement Study which seeks to establish the estimated growth levels required in sustainable settlements across the Borough. This evidence document establishes the current housing requirement for Cliddesden as 20 dwellings, in the current adopted Local Plan Policy SS5 requires 10 dwellings to be delivered. The housing requirement for Cliddesden is set out in the settlement study at paragraph 13.
96. Given the level of growth needed, even with development on brownfield sites being maximised, new greenfield sites will be required. Basingstoke and Deane is a predominantly rural borough. Whilst it is important to continue to protect and enhance the character of the borough and its settlements, it is also essential to sustain communities and the vitality of smaller towns and villages. New development can help support the viability of existing facilities and services in rural settlements.
97. Planning Practice Guidance states that the neighbourhood planning body does not have to make specific provision for housing or seek to allocate sites to accommodate the requirements set out in the strategic policies of the relevant Local Plan. Following extensive public consultation Cliddesden Parish Council has not proposed housing sites in the CNP. The Parish Council and the wider community will work closely with B&DBC through the Local Plan Review process to ensure adequate sites or opportunities are identified within or adjacent to the defined settlement boundary for Cliddesden to meet the current and any future housing requirement set for Cliddesden. The CNP does not allocate sites for housing development but includes a policy which indicates the Parish Councils commitment to work with B&DBC to find an appropriate site within or adjacent to the Settlement Boundary of Cliddesden to meet the requirements of Policy SS5.

Public Considerations and Consultation

98. Housing Design and Developments has always been and will always be one of the most contentious areas of the Neighbourhood Plan. Even before we began the consultation on the Plan, the application to build some 40 houses in a field on Farleigh Road opposite Southlea was met by some 200 letters of objection from the village. This and other factors led to the Council turning down the application and the subsequent appeal was also dismissed.
99. From the information provided in previous consultations, there is strong evidence that people believe Cliddesden is being harmed by over development. Many residents do not want to see any further development and community consultation has found that there is strong support for the protection of the countryside from further development.
100. From the 2019 questionnaire, the only conclusive need identified regarding the type of housing, was for people with a local connection to Cliddesden.
101. The 2020 survey and engagement activity identified the following key housing issues for residents of the Parish:
 - Survey results showed that it is preferred that any development of more than one property should be of no more than 20 houses within the lifetime of the plan. (90%)

- (There was a split of 46% seeing a need for 1 to 10 new dwellings and 44% seeing a need for 10 to 20 new dwellings).
- Once the requirement of policy SS5 has been met (currently net gain 10 houses), proposals for developments outside the village and adjacent to the SPB, or outside the SPB, will be subject to Local Plan Policies in the countryside (i.e., SS6). (89.9%)
- There is community support to prioritise any new “affordable” housing for those with a local connection to the parish. (79.3%)
- There is community support for the building of a greater percentage of smaller homes (71%)
- All new development proposals should have regard to the Design Code 2024, taking full account of the historic character of the Cliddesden Conservation Area, other heritage assets and the landscape character and other local distinctive characteristics of the Neighbourhood Plan area. (96.1%)

Housing Delivery

102. The Parish Council will support appropriate proposals for new housing within or adjacent to the Cliddesden Settlement Policy Boundary which meets the requirements of Local Plan Policy SS5.
103. Therefore, the Cliddesden Neighbourhood Plan will not be allocating any housing sites. However, the Parish Council will demonstrate their commitment to meeting the requirements of Policy SS5 through a CNP policy which sets out the parishes support for an appropriate site to meet the requirement of policy SS5 of the adopted Basingstoke Local Plan. The rest of the housing policies focus on housing mix, extensions and character.

POLICY HDI: New Housing to meet the requirement of Local Plan Policy SS5

The Parish Council will support appropriate proposals for new housing within or adjacent to the Cliddesden Settlement Policy Boundary which meet the requirements of Local Plan Policy SS5 or policies which succeed Policy SS5. Once the requirement for Policy SS5 or any updated policy, has been met, proposals for development on sites outside the village of Cliddesden that are adjacent to the Cliddesden Settlement Policy Boundary will be subject to relevant Local Plan policies for new housing in the countryside.

Evidence Source

Evidence from Cliddesden Community Consultation Results

B&DBC Housing Supplementary Planning Document;

2011 Census data

Planning permission data since 2011

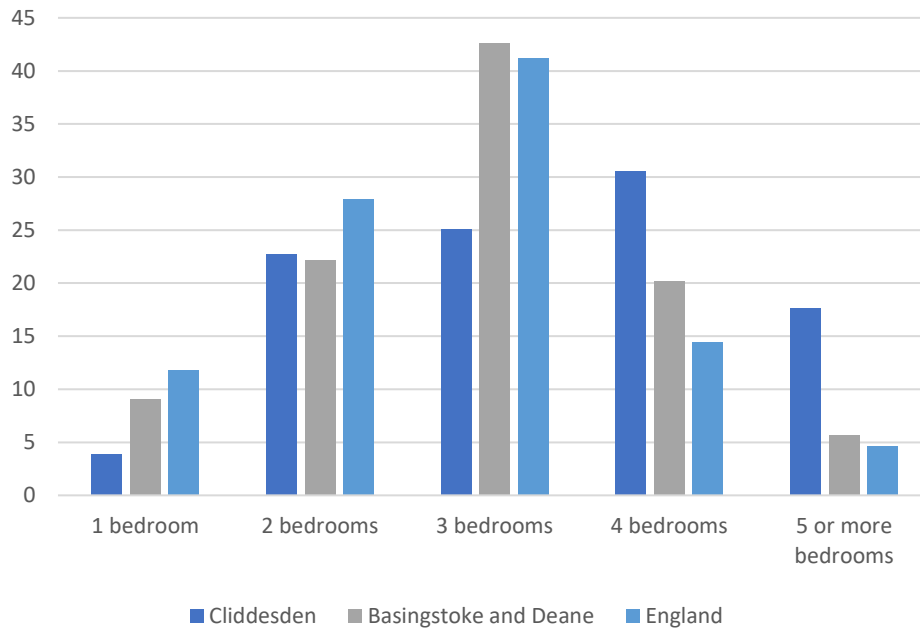
Housing Development Background paper – Cliddesden Parish Council

Housing Mix

104. Based on 2018/19 data, average house prices in Cliddesden are 69% higher than the Basingstoke and Deane average. In common with many communities, there has been a marked decrease in the availability of smaller homes. There has been an influx of house buyers who extend or demolish an existing dwelling and replace it with a larger one. To ensure a balanced community, this trend needs to be modified where possible. This situation is common with other local rural areas.
105. Further details are provided within the Housing Background Evidence paper. However, a summary of the key issues include:
- The average number of rooms per household for Cliddesden in 2011 was 7.3., this is nearly 26% more than the B&DBC average of 5.8 and 35% higher than the England average of 5.4.
 - Cliddesden Parish has significantly less 1 & 3 bedroom houses compared to the district: 3.9% 1-bedroom houses vs. 9.1% in B&DBC and 11.8% across England. 25.1% 3-bedroom houses vs. 42.6% in B&DBC and 41.2% across England.
 - Cliddesden Parish does, however, have a significantly higher proportion of 4 & 5 bedroom houses compared to the district: 30.5% vs 20.2% in B&DBC and 14.4% across England.
 - Evidence from planning permission data since 2011 shows that extensions and 4 & 5 bedroom house construction has exceeded the construction of houses less than 3 bedrooms.
 - In the Parish, 20.7% of households (42) are single person occupied.
 - 11.3% of all households were one-person pensioner (over 65) households compared to the figure for the District which was 7.9%. The total percentage of houses with all household members over 65 was 24.1%, considerably higher than the B&DBC figures of 18%. This reflects the age demographic for the Parish.
106. Question 4 of 2019 Community Questionnaire which asked: “what type of housing is most needed in Cliddesden”, did not generally show a need or strong need greater than 50% for any type of housing, except for people with a connection to Cliddesden. What it did show was a stronger need for smaller and medium sized houses (up to 3 bedrooms) rather than larger houses of 4 or more bedrooms.
107. Question 6.2A of the 2020 Issues and Options Questionnaire showed that 71.5% of respondents voted for a policy to deliver a higher proportion of smaller homes.
108. Graph A below shows that Cliddesden Parish has significantly less 1 and 3 bedroom houses compared to the district: There are 3.9% one-bedroom houses compared to 9.1% in B&DBC and 11.8% across England. There are 25.1% three- bedroom houses compared to 42.6% in B&DBC and 41.2% across England.
109. The percentage of two-bedroom households in Cliddesden is comparable to the B&DBC area almost solely due to the 1960’s built social housing development (named Hoopersmead) which

is comprised of 24 one and two-bedroom bungalows. Cliddesden Parish does, however, have a significantly higher proportion of 4 & 5 bedroom houses compared to the district: 30.5% compared to 20.2% in B&DBC and 14.4% across England.

- I 10. Development over time has resulted in a high proportion of larger houses making it difficult for those wishing to stay in the parish (whether those looking for a first-time home or those wishing to downsize). There is a need for any new development to address the imbalance between large and small houses.



Graph A - showing number of bedroom houses in Cliddesden

- I 11. Paragraph 3.8 of the Housing Supplementary Planning Document¹⁴ states that it is important that new development delivers a range of dwelling sizes to meet a range of needs. The evidence highlights the need for a mix of new homes, with a particular borough-wide requirement for homes with two and three bedrooms. This is due to both the borough’s ageing population which will result in an increase in one and two person households and the trend towards smaller households throughout life (for example, families having fewer children, and people living alone through choice or relationship breakdown). This policy seeks to encourage the provision of smaller dwellings to address the imbalance towards larger dwellings. The policy references the space standards required for bedroom spaces, the policy does not establish its own space standards.

¹⁴ [Housing Supplementary Planning Document](#)

POLICY HD2: Housing Mix

Proposals for residential development will be expected to provide a mix of dwelling types and sizes to address the nature of local needs and contribute to the objective of creating a mixed and balanced community. Any new housing development in the Parish comprising a net increase of more than a single property should provide a mix of dwelling sizes, including smaller dwellings (with two or three bedrooms)¹⁵ to meet the needs of the Parish.

Evidence Source

Settlement policy boundary map

Evidence from Cliddesden Community Consultation Results

B&DBC Housing Supplementary Planning Document;

2011 Census data

Planning permission data since 2011

Cliddesden Village Design Statement 2004.

Cliddesden Design Code 2024

Housing Development Background paper – Cliddesden Parish Council

Extension or replacement of existing dwellings

112. Cliddesden has a limited stock of smaller properties. The NP seeks to protect against the loss of existing smaller properties. The extension of existing homes has been a regular feature of home ownership within the Parish, such that much of the smaller, and more affordable accommodation has been lost. The purpose of this policy is to support families trying to meet the space requirements of a growing family, or to support those who wish to provide semi-independent accommodation for a close relative, whilst protecting against the unnecessary loss of smaller housing stock.
113. Policy SS6(d) of the Basingstoke and Deane Local Plan (2011-2029) provides that extensions or replacement dwellings in the countryside outside settlement policy boundaries should be appropriate to the plot. Within the Neighbourhood Plan Area, it is observed that the curtilage of a dwelling is often quite large relative to its size. This has led, in some cases, of replacement dwellings being a larger size than the original; and thus, a continued loss of smaller dwellings. In assessing proposals for the replacement or extension of a dwelling, Policy HD3 shifts the consideration of what is appropriate from plot size to consideration of the setting and size of the existing dwelling. Extensions to dwellings need to ensure that they can be “read” as an extension and do not dominate the existing dwelling. The purpose of the policy is not to prevent modest increases in the size of dwellings allowing homes to grow to meet the needs of families,

¹⁵ A room is considered to be a bedroom if it is not a main reception room and it is of a size that can accommodate a bed. The government publication - [Technical housing standards](#) – nationally described space standard provides information on space standards. Paragraph 10 sets out the technical requirements for bedrooms.

rather to prevent developments which fundamentally alter the scale and character of the dwelling and result in the loss of a smaller, more affordable dwelling.

114. It is acknowledged that, while helping to ensure that extensions requiring planning permission will be appropriate and sympathetic in terms of scale and design, Policy HD3 will not be able to control those extensions governed by permitted development rights. This policy relates solely to extensions and modifications of existing dwellings. As regards to preventing large houses on sites that formerly contained two or more smaller homes – this matter is already considered by BDLP policy SSI clause c which seeks to resist development which would involve a net loss of housing unless it can be demonstrated that the benefits outweigh the harm. This matter is also covered by Policy HD4:

POLICY HD3: Extensions and Annexes to dwellings

Extensions and annexes requiring planning permission should be:

- a) appropriate in scale to the original building,
- b) they should not compromise the character and pattern of development of the surrounding area;
- c) should be in keeping with the design and appearance of the original building; and
- d) should not adversely affect the amenity of the residents of neighbouring properties.

Evidence Source

Evidence from Cliddesden Community Consultation Results

Cliddesden Village Design Statement 2004

Housing Development Background paper – Cliddesden Parish Council

Cliddesden Design Code 2024

Replacement of Dwellings

POLICY HD 4: Replacement of Dwellings

The replacement of dwellings outside the Settlement Policy Boundary will be permitted where:

- a. It conserves the character of the surrounding area in terms of form, height, layout and density of development; (Design Code DC01, DC02, DC03)
- b. It provides sufficient garden space, space around buildings and planting, particularly where these spaces and any trees lend to the character of the area; (Design Code DC01, DC05). Existing features such as trees, hedgerows of value and walls which are characteristic of the streetscape and local area are retained;
- c. It provides a safe vehicular access and onsite parking (Design CodeDC07);
- d. It ensures there is no significant adverse impact on the amenities of adjacent properties as a result of overlooking, loss of privacy or overshadowing.

Evidence Source

B&DBC Design and Sustainability SPD

Evidence from Cliddesden Community Consultation Results

Housing Development Background paper – Cliddesden Parish Council

Neighbourhood Plan Policies: Design & Development

Policy Background

- 115. Section 12 of the NPPF 2023 focusses on well-designed places. Paragraph 131 provides support for ensuring good design is an integral part of new development. It states that the creation of high quality, beautiful and sustainable buildings and places is fundamental to what the planning and development process should achieve. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities.
- 116. The National Design Guide¹⁶ states that well-designed places influence the quality of our experience as we spend time in them and move around them. The underlying purpose for design quality and the quality of new development at all scales is to create well-designed and well-built places that benefit people and communities.
- 117. Policy EM10 - Delivering High Quality Development in the Basingstoke and Deane Local Plan supports the maintenance of local character. It states that all development proposals will be of high quality, based upon a robust design-led approach. All development proposals will be required to respect the local environment and amenities of neighbouring properties.

Design Code

- 118. The Cliddesden Neighbourhood Planning team engaged with consultants AECOM to produce a Design Code (DC). The main objective of this document is to establish principles so that new development is designed and planned with regard to the existing character and context of the Cliddesden Neighbourhood Plan Area within the Neighbourhood Plan. Following the Examination of the CNP, the Design Code was updated to address recommendation made by the Examiner.
- 119. The document identifies key characteristics of the Cliddesden Neighbourhood Plan Area, including the identification of distinct character areas with the Plan Area and how their form, layout and detailing gives each a unique character. These key characteristics have informed the site-wide design codes contained in this document, as well as some specific design codes for each of the character areas. It sets out a series of design codes related to new development.
- 120. The DC document describes the different character areas in the parish and defines nine Design Codes. The design codes should be applied as a starting point to all new development in the Neighbourhood Plan Area. These codes advocate character-led design which responds to and enhances the landscape and townscape character. The codes include issues such as: settlement pattern, building typology, architectural details and materials, building modifications and extension, building line and boundary treatments, green infrastructure and open space, parking and utilities, footpaths and rights of way and views and landmarks.

¹⁶ [National Design Guide](#)

121. Question 9.1 A of the 2020 Issues and Options Questionnaire showed that 96.1% of respondents voted for a policy that stated new development proposals should have regard to the Design Code.

Architectural Detail: Doors



Timber door



Door with thatch porch



Brick porch



Wooden and thatch porch

Architectural Detail: Windows



Sash windows



Dormer windows



Full height windows



uPVC windows

Design Code photographs

POLICY DDI: Design Code 2024

Development proposals should have regard to the guidance set out in the Cliddesden Design Code as attached as Appendix A, unless protections for the Historic Environment set out in other policies of the development plan would be compromised.

Development proposals should demonstrate how consideration has been given to the relevant Design Code 2024

Evidence Source

Evidence from Cliddesden Community Consultation Results

Cliddesden Village Design Statement 2004

Housing Development Background paper – Cliddesden Parish Council

Cliddesden Design Code 2024

Design & Development

122. There is strong community support for planning policies which will help new building/development maintain the “look and feel” of the Parish. Equally, the community is seeking development which meets local needs, and the emphasis is on the provision of new smaller properties. This planning policy seeks to reinforce local character and distinctiveness by identifying the key design factors which applicants need to consider when framing their proposals, and ensuring when required that applicants submit a Design and Access statement which explains how the proposals have been informed by, and respond to, the local context. Development should take into account the Cliddesden Village Design Code 2024 which

provides a descriptive framework of the distinctive features that have shaped the village in the past and are seen as important today.

123. The issue of suitability is important if the needs of the community are to be met. For example, development to meet the needs of young people should be affordable in a local context. In contrast, accommodation for older owner-occupiers wishing to downsize should meet their anticipated needs for smaller properties which may include easier access throughout, room sizes that will allow space for treasured furniture and possessions, and manageable small gardens or shared community space.
124. The design of new developments has often not been sensitive to the character of the area. There is a need to ensure that new development is of high quality and small scale and reflects the rural character of the area.
125. The Design Code 2024 page 23 and 25 mentions that “There is no formal street lighting within the Plan Area, with the exception of lighting in Hoopersmead. This lack of lighting contributes to the Plan Area’s rural character”; and that “Light pollution from new developments (e.g., street lighting, security lighting and upward illumination for skylights) could change the rural character”.
126. BDBC’s parking standards SPD59 and the Design Code 2024 mention parking as impacting on local character and also recommends providing adequate off-street parking to reduce visual impact. The Code also includes a table of what character area suits what type of parking.
127. Development proposals should be appropriate to the location and respond to the rural character of the Plan Area. Where new development is proposed outside of the Village Character Areas, the layout, character and appearance of the development should have regard to its rural location and the character of neighbouring Village Character Areas.
128. The Basingstoke and Deane Landscape, Biodiversity and Trees Supplementary Planning Document Appendix 4.1 Section 5, describes the Chalk and Clay Downs that include Cliddesden:

“Recent development has largely taken the form of detached housing built around cul-de-sacs. The developments have tended to ignore the traditional building materials, styles and layouts in the area, and in some cases have detracted from the character of the settlements.”
129. Paragraph 136 of the 2023 NPPF makes it clear that it is the Government’s intention that all new streets include trees unless in specific cases there are clear justifiable and compelling reasons why this would be inappropriate. This is an aspiration shared by the wider community who support the introduction of trees in new development.
130. Question 5 of the 2019 Questionnaire which asked: “What principles should influence the design of any new residential developments”. Responses indicated:
 - 94% agree or strongly agree to: “ensuring a rural feel to developments”.
 - 87% agree or strongly agree to: “be small scale and incremental in nature, rather than large scale development”.
 - 89% agree or strongly agree to: “be proportionate to scale, layout and character of surrounding buildings”.

- 86% agree or strongly agree to: “should not backfill, by using existing housing gardens”.
- 63% agree or strongly agree to: “be linear in form (as opposed to clustered).”

POLICY DD2: Design and Development

Development proposals must demonstrate how the development contributes positively to the character of Cliddesden, incorporating design principles that reflect the local vernacular.

Proposals will be expected to demonstrate the following:

- Development proposals must show how they would conserve or enhance the character of the plan area, having regard to the Cliddesden Design Code 2024;
- The density of new development proposals should be appropriate to the location and respond to the rural character of the Plan Area (Design Code DC01);
- Development responds positively to the design and appearance of local buildings and not adversely affect the amenities enjoyed by neighbouring buildings (Design Code DC02);
- Development should respond positively to existing design features and use high quality materials that are sympathetic to the plan area (Design Code DC03);
- Design proposals where appropriate should have regard to the 10 characteristics of ‘well designed places’ set out in the National Design Guide (Design Code DC03);
- Development should respect the characteristic plot sizes and widths and the position of buildings within plots. Building lines should contribute to the informal and historic appearance of the plan area (Design Code DC05, DC06);
- Development proposals outside of the residential character areas identified on [map 3](#) at paragraph 41 should have regard to the character, layout and appearance of neighbouring village character areas where appropriate;
- Limit the impact of light pollution from artificial light such as new street lighting, garden, security and safety lighting on local amenity, intrinsically dark landscapes and biodiversity;
- integrate car parking within attractive areas of soft and hard landscaping to minimise any negative impact on visual amenity, and ensure that car parking requirements both for residents and their visitors can be catered for on-plot. (Design Code DC07);
- Where provided, storage space for bins and recycling, bicycles, gas and oil storage tanks should be well screened and conveniently located. The design and location of any such storage facilities should respond positively to the proposed development and the character of the locality;
- All new development should include tree-lined streets unless in specific cases there are clear justifiable and compelling reasons why this would be inappropriate.

Evidence Source

Cliddesden Community Consultation Results;

Cliddesden Design Code 2024;

Village Design Statement 2004;

Linear Character

131. Cliddesden generally has a high-quality built environment and contains residential areas of low density with large mature gardens, which has developed in a linear fashion over time. The intent of this Policy is to ensure that any new developments maintain the characteristics of the Plan Area. One factor that has contributed to the erosion of the village character has been pressure to build in gardens, either from demolishing existing buildings and developing the site or by building within gardens. In order to preserve these areas from inappropriate garden development, this Policy will seek to control further infill to prevent over development. Such sites are often landlocked sites behind existing buildings and often have no street frontages.
132. Developments that follow a more “estate” clustered style, also erode the character of the village. Previous garden or clustered development proposals have met with resistance from local communities because of their detrimental impact on the character, biodiversity and amenities of the surrounding residential areas. They have caused a loss of amenity to existing properties including loss of privacy, loss of daylight, overlooking, visual intrusion by a building or structure, noise disturbance, reduced space around buildings, loss of car parking and loss of mature vegetation and biodiversity. These kinds of developments can also have difficult vehicular access to the highway.
133. The Cliddesden Design Code 2024 sets out the important features which make up the village. Design code DC01 provides the principle that development proposals should reflect the linear “one plot deep” character of the character areas where this is a predominant characteristic enabling views of the countryside across the area. This means that back land/garden/infill development does not reflect this traditional linear pattern and should be resisted.
134. Linear development (rather than clusters) was a theme that emerged from the first consultation (open day) in November 2018. Question 6.1B of the 2020 Issues and Options Questionnaire showed that 96.1% of respondents voted for a policy that maintained the “one plot deep” character.
135. The Cliddesden Conservation Area assessment refers to the linear pattern of development and also to a number of important views of the streetscape which result from the linear pattern of development. The centre of the village and Conservation Area are not the only areas where linear development has played an important part in defining the character of Cliddesden. The Cliddesden Village Design Statement (adopted by B&DBC in 2004) refers to the linear development along Station Road, Woods Lane and Hackwood Lane.

136. Planning Inspector - Rory Cridland acknowledged the importance of the linear pattern of development when dismissing the planning appeal for 40 houses in Southlea Meadow Cliddesden in 2018¹⁷. He states:

'Accordingly, I find the proposed scheme would erode the linear pattern of development in this part of Cliddesden and would be harmful to landscape setting of the village. Furthermore, it would result in the significant erosion of an important view of the wider landscape setting. This would be harmful to the character and appearance of the surrounding area and the CA as a whole.'

137. In conclusion, for centuries, development has historically followed a linear pattern in Cliddesden village. Community feedback has indicated a strong desire to preserve the character of the village. This includes new developments following linear development pattern, with a principle of “one plot deep” development. Basingstoke and Deane Policy EM10 supports local distinctiveness and layout.

POLICY DD3: Linear Character

Where the Cliddesden Design Code 2024 identifies a linear character, development proposals should reflect the predominately linear character of the area. Any development which erodes the linear character of the area, including irregular, back land and garden development, should be resisted.

Evidence Source

Cliddesden Design Code 2024
Cliddesden Community Consultation results
Cliddesden Conservation Area Assessment
Cliddesden Village Design Statement
Housing Development background papers – Parish Council

Renewable Energy

138. The current Basingstoke and Deane Local Plan actively encourages the inclusion of energy conservation measures into all new housing developments. This approach is supported by the residents of Cliddesden.
139. Question 6.3A of the 2020 Issues and Options Questionnaire showed that 100% of respondents voted for a policy that requires developments to include energy saving measures and minimise carbon footprint and carbon emissions. Proposals will be expected to make efficient use of natural resources (including water), making the most of natural resources to reduce vulnerability to climate change impacts in the long term.
140. Policy DD4 offers support for energy-generating infrastructure which will contribute to providing a sustainable and renewable energy to supply the village. Any development of

¹⁷ [Southlea Meadow Appeal Decision](#)

infrastructure will be expected to take account of all other policies in the Development Plan, including those in the CNP.

POLICY DD4 – Domestic Energy Generating Infrastructure

Where planning permission is required, proposals for domestic energy-generating infrastructure using renewable sources will be supported provided that:

- a. The energy generating infrastructure is located as close as practicable to and is in proportion to the scale of the existing buildings.
- b. The siting of the energy-generating infrastructure and its scale and design avoid any harmful impacts on heritage assets, the landscape, views and wildlife and do not compromise public safety.
- c. Any technologies and infrastructure used to generate energy should not detract from the rural and historic character of the local environment and respect the special character and appearance of the Parish.

Evidence Source

Housing Development Background paper – Cliddesden Parish Council

Cliddesden Community Consultation Results;

Cliddesden Design Code 2024;

Village Design Statement 2004;

BDBC Landscape, Biodiversity and Trees Supplementary Planning Document 2018;

B&DBC Design and Sustainability SPD 2018

Flood Risk

141. Flooding is a major problem in the centre of Cliddesden. Cliddesden sits in a valley and suffers from run-off of surface water from the surrounding hills. All this water arrives at the village pond in the centre of the village and at peak times the overflow from the pond cannot cope. There is a considerable worry from residents that any further development will only worsen the situation.
142. Question 4.6A of the 2020 Issues and Options Questionnaire showed that 98.3% of respondents voted for a policy that the Parish council will work with appropriate bodies to find ways to address problems of flooding in the village.
143. Flooding is a problem within the village as shown by the flood in August 2020, which resulted in the pond overflowing and flooding adjacent houses. The pond has now been included in the “Operation Resilience Scheme of Hampshire County Council”.
144. The Local Planning Authority will seek to ensure that there is adequate water and wastewater infrastructure to serve all new developments. Developers are encouraged to contact the water/wastewater company as early as possible to discuss their development

proposals and intended delivery programme to assist with identifying any potential water and wastewater network reinforcement requirements. Where there is a capacity constraint the Local Planning Authority will, where appropriate, apply phasing conditions to any approval to ensure that any necessary infrastructure upgrades are delivered ahead of the occupation of the relevant phase of development.

POLICY DD5: Flood Risk

1. Development proposals for sites of 10 or more houses should incorporate sustainable drainage systems (SUDS) to address all surface water run-off from the development site unless demonstrated to be inappropriate. Where possible, existing watercourses on or adjacent to development sites should be enhanced and integrated with the SUDS.
2. Where appropriate, planning permission for developments which result in the need for off-site upgrades, will be subject to conditions to ensure the occupation is aligned with the delivery of necessary infrastructure upgrades

Evidence Source

Housing Development Background paper – Cliddesden Parish Council
Cliddesden Community Consultation Results

Neighbourhood Plan policies: Leisure and Wellbeing



The village pond

Policy Background

145. Section 8 of the National Planning Policy Framework states planning policies should aim to “provide the social, recreational and cultural facilities and services the community needs”. Paragraph 97a states “*plan positively for the provision and use of shared spaces, community facilities (such as local shops, meeting places, sports venues, open space, cultural buildings, public houses and places of worship) and other local services to enhance the sustainability of communities and residential environments*”, and 97c states “*guard against the unnecessary loss of valued facilities and services, particularly where this would reduce the community’s ability to meet its day-to-day needs*”.
146. Basingstoke and Deane Local Plan 2011 – 2029 policy CN8 – Community, Leisure and Cultural Facilities is the key policy. Paragraph 5.75 states ‘*The focus will be on retaining, maintaining and improving existing facilities which are valued by the community so they can meet changing needs and expectations. Facilities that are valued by the community are defined as those that are recognised for their contribution to community activity and amenity, providing facilities that enable participation in a range of community, leisure and cultural activities.*’

Community Facilities

147. It is acknowledged that there are limited community facilities within the parish, and the public consultation, completed in 2020, showed there is a strong desire to support and protect what facilities we have and, where and when possible, try to add to them. Community facilities, such as Churches, Village halls and pubs, are the essential glue that helps bring a community together. They facilitate social interaction, provide outlets for vital services and play a central role in

community life. Feedback has suggested there is a desire for an outdoor multipurpose playing field/village green.

148. The risk of losing any of these community facilities is a key consideration in this part of the plan. Policy LW1 seeks to protect the valued community facilities, some of these facilities are awarded protection through Policy ENV2 as they are protected as Local Green Spaces, therefore they are not included in Policy LW1, but are referenced in supporting text as valued facilities, and protected by other policies in the CNP. The Village Millennium Hall ground and the gardens of the Jolly Farmer Public House are both valued as community facilities, but are protected via the Local Green Space designation and therefore not covered by policy LW1.
149. For community spirit, places to meet and sociability, the three absolute key Valued Community Facilities within the parish are:
- The Village Millennium Hall
 - St Leonards Church and churchyard
 - The Jolly Farmer Public House
150. Other Valued Community Facilities include:
- The Village Pond and its surrounds which are protected through Local Green Space (LGS)
 - The Telephone Box (now used as a community book exchange and houses the defibrillator)
 - Bus Shelter which is often used in poor weather by people visiting the pond
151. Within the Village there are several clubs and groups based at the Millennium Hall which drives the vibrant community spirit. These include the Cliddesden Players, the Film Club, Brownies, Toddler Group, Coffee Morning, Horticultural Society and Cliddesden Women's Institute.
152. The hall also is available for private hire for clubs, societies or events to people from within, or outside, the parish. Current regular users are Yoga, Ballet and Zumba classes, various dance clubs, an Art Club, and Rugby Tots. This all helps to positively promote the village to people from both within and outside the parish. The village pond on the road from Basingstoke to Farleigh Wallop is the focal point of the village. The bus shelter is the only meeting point for the limited public transport service. Its improvement was privately funded in full by a member of the parish.
153. The primary purpose of policies LW1 and LW2 is to protect current parish facilities and hopefully add new ones so to help sustain and grow Cliddesden as a vibrant, friendly local village with a strong community spirit. Appropriate provisions towards new, or improving current community facilities through new development proposals, will be sought via CIL (community infrastructure levy) or direct planning agreements and conditions.

154. The current priority for a new community facility, as identified in the consultation document, is a village open space (green) hopefully with additional leisure facilities such as children’s play equipment and/or a sports court (tennis or multi-purpose).
155. The Leisure and Wellbeing policies have been created to support the fact that over 96% of residents who returned the questionnaire want to see our current Valued Community Facilities protected, and over 95% were also keen to seek the chance to add new community facilities to help advance the viability and sociability of the parish. More information can be found in the Leisure and Wellbeing evidence document.

POLICY LWI – Current Valued Community Facilities

Proposals for new developments which involve the current Valued Community Facilities listed below and shown on both Policy Map LWIa and LWIb will only be supported if the proposal does not result in the loss of, or have an adverse effect on, the facility concerned, unless a satisfactory alternative can be provided, or it is clearly proven the current facility is no longer viable¹⁸

- The Village Millennium Hall
- St Leonards Church and churchyard
- The Jolly Farmer Public House
- The Telephone Box
- Bus Shelter



¹⁸ More information on demonstrating viability can be found in the [Basingstoke and Dean Marketing Guidance Note](#)

Policy Map LW1a showing location of pub, bus shelter, pond and telephone box



Policy Map LW1b showing location of church and village hall

POLICY LW2 – Additional Community Facilities

Where appropriate, development proposals should provide new community facilities or improvement to existing facilities, to meet the needs and requirements that are expected to arise from the development, in consultation with the Parish Council.

Evidence Source

Leisure & Wellbeing Background paper – Cliddesden Parish Council

Cliddesden Community Consultation Results

Neighbourhood Plan policies: Transport and Movement

Policy Background

156. Section 9 of the NPPF 2023 refers to promoting sustainable transport. Paragraph 108 states that transport issues should be considered from the earliest stages of plan-making and development proposals.
157. Basingstoke & Deane Local Plan Policy CN9 Transport states that the Council will work in partnership to promote a safe, efficient and convenient transport system. Development should seek to minimise the need to travel, promote opportunities for sustainable transport modes, improve accessibility to service and support the transition to a low carbon future. Development should be of high quality, sustainable in design, construction and layout, offering maximum flexibility in the choice of travel modes, including walking and cycling, and with accessibility for all potential users.

Key Issues and Background

158. The results of the two consultations in 2019 and 2020 highlighted the main areas of concern for residents in regard to Traffic and Movement as being on-road parking, speeding and potential future increases in traffic volumes. Residents identified that they do not want to see any development that is going to make the existing issues any worse and would support proposals for improvements. Further information on consultation results is set out in the Evidence Background Papers.
159. Whilst there is a 30-mph speed limit operating throughout most of the village, much of the road network is single track or narrow two lane roads and much of their length is sunken and have no pavement, especially some of Farleigh Road (the main routes through the village), Woods Lane, Church Lane, including the walk to school.
160. The Parish Council installed a Speed Indicator Device which is regularly moved to different locations within the parish. A second Speed Indicator Device was funded in full by an individual member of the parish and is located at the main entrance to the village from the A339.
161. It is also important to recognise that the lack of pavements and lighting, and the narrow road widths are an intrinsic part of the character of the Parish.
162. It is well noted in the Cliddesden Design Code 2024 that the lack of pavements and lighting, and the narrow road widths helps retain the rural character of the village and as such should be protected. It is, however, recognised that this can present risks to all road users, so it is important to ensure traffic speed is calmed with sensitive measures (for example: verge maintenance and soft landscaping) rather than the more urban measures such as speed humps and high visibility signs. Cliddesden Design Code 2024 (DC07 Parking & Utilities & DC08 Footpaths and Rights of Way).
163. Poor levels of public transport (there is one bus a week with only a one hour stay in Basingstoke before return) and the lack of facilities within the Parish mean that there is a high reliance on the car.

164. Total car ownership per household is well above the B&DBC average and only 6.9% (14 households) did not own a car (as per data from 2011 census).
165. Development proposals should address the need for appropriate on-site parking in the interests of safety and to protect the rural character of the plan area.
166. Access to village facilities on safe, well-designed footpaths will encourage their use and reduce the reliance on cars. Enabling additional opportunities for walking not only supports health and wellbeing but also allows for informal, unplanned meeting within the village that enhances the sense of community.
167. It is imperative that the network of footpaths in Cliddesden is carefully maintained, signposted and monitored, allowing families, residents and visitors alike, to experience the joys of this peaceful and beautiful part of Hampshire, as well as forming picturesque links with the neighbouring parishes of Winslade and Farleigh Wallop.
168. Cliddesden is on National Cycle Route 23. Due to its close proximity to Basingstoke and being one of the first villages acting as a gateway to the Candovers, it has a high volume of cycle traffic through-out the year.
169. As Cliddesden has a limited pavement network, much of the pedestrian access throughout the village has to be made on roads, including the journey from the bus stop (village centre) to the school. Much of the village road network is narrow and in sunken, twisting lanes so all aspects of movement safety (vehicle, cycle and pedestrian) is a key concern.
170. The main route through the centre of the village (Farleigh Road B3046) is two-way traffic but suffers from constant speed abuse as verified from data from the SID (speed indication device).
171. There is significant need for residents to park their vehicles on the road due to lack of parking spaces within their curtilage. This is most evident in Farleigh Road, Station Road and Hoopersmead.
172. Hampshire Countryside Access Plan 2015 – 2025 recognises that benefits to physical and mental health from improving access to the countryside are increasingly important. It supports improved connectivity and shared routes for cyclists and pedestrians.
173. New and improved footpaths, helping safe pedestrian connectivity through-out the village, is to be encouraged, where possible, within all new development proposals.

POLICY TMI - Increased access points and traffic

As appropriate to their scale, nature and location, all new development proposals which increase the number of access points, or would involve an increase in traffic generation, will need to demonstrate that they do not further increase the risk to cyclist or pedestrian safety or exacerbate parking stress to these or adjoining areas. Where they do, proposals must be incorporated to mitigate this additional pressure.

POLICY TM2 - Improving Footpath and Cycle Networks

Where appropriate to their scale, nature and location development proposals should

- a) promote safe access to the countryside through protection and enhancement of the existing Public Rights of Way (PROW) network.
- b) provide links and enhancements to the existing footpath, bridleway, and cycleway network, where considered necessary and relevant.
- c) Ensure the construction and appearance of new paths, tracks or links is appropriate to the area, suitable for the intensity of use and sensitive to the character of the immediate locality.
- d) Avoid the loss or degradation of any PROW, or any cycleway

Evidence Source

Transport & Movement Background paper – Cliddesden Parish Council

Cliddesden Community Consultation Results

Cliddesden Design Code 2024

Neighbourhood Plan policies: Environment

Introduction

174. Cliddesden is located in the north of the Hampshire Downs Character Area (NCA 130). The Hampshire Downs have been identified as a National Character Area (NCA 130) by Natural England. The northern boundary of the Hampshire Downs follows a line from just north of Walbury Hill in Berkshire to Basingstoke and Farnham. This northern edge of the Hampshire Downs forms a ridge and dramatic escarpment rising to over 290 meters, overlooking the Thames Basin. Cliddesden sits within the Hampshire Downs and is known locally as the gateway to the North Hampshire Downs. Cliddesden parish shares many of the same features and characteristics as the villages of Nutley, Axford, and Preston Candover, that lie in a line southward down the Candover valley.
175. The North Hampshire Downs is not an identified Character Area but is a well-established locally derived name for the area also referred to as the Hampshire's highlands. This area forms part of the National Character Area of the Hampshire Downs and shares many of the characteristics of the wider character area. The majority of the area is an elevated, open, rolling landscape dominated by large arable fields with low hedgerows on thin chalk soils, scattered woodland blocks. The rolling, elevated, chalk arable downland has an open, exposed character that provides open skies and long-distance views. Cliddesden acts as a gateway to the North Hampshire Downs, offering opportunities for recreation and tranquil relaxation.
176. As one arrives in Cliddesden one is struck by the sense of place. An air of rural tranquillity continues throughout the parish with homes nestled in a linear style along its lanes with tantalising views of the surrounding countryside in between the buildings. The air is fresh as one walks or cycles along the ancient lanes lined with hedges and trees that abound with wildlife and border fine agricultural land. Cliddesden has been a rural farming community since long before the arrival of the Normans almost a thousand years ago.
177. This makes it a special place to those who live, visit and work here, in stark contrast to the conurbation of Basingstoke. Many people from Basingstoke and beyond have discovered the value of the area and its landscape, as evidenced by the marked increase in the number of walkers, cyclists and horse-riders enjoying the countryside as part of their physical exercise and mental health wellbeing in the recent Covid pandemic of 2020/2021.
178. The amenity value of the local countryside is something not just valued by residents of the village but also enjoyed by the wider community as evidenced by walkers and cyclists from Basingstoke. As a specific example, the annual Basingstoke half marathon passes through Cliddesden and has done for many years.

Local Gap Policy

Policy Background

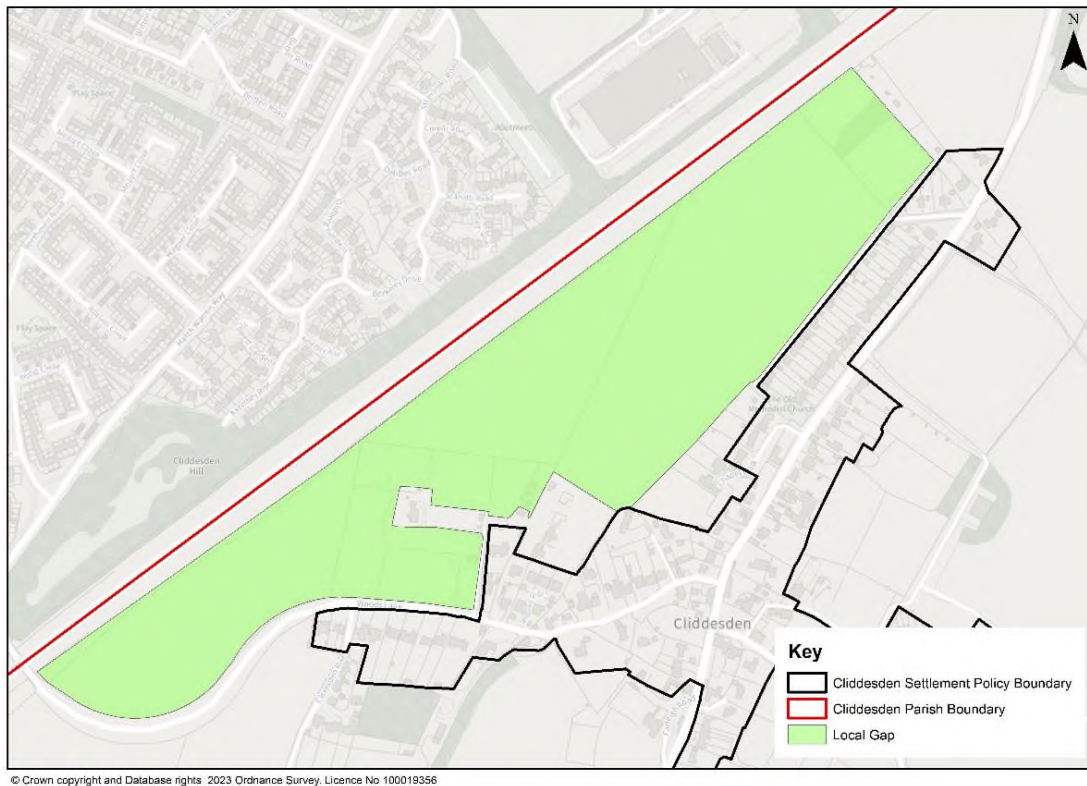
179. National Planning Policy Framework December 2023 (NPPF) paragraph 135 states - *Planning policies and decisions should ensure that developments:*
- c) *“are sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change (such as increased densities);”*
180. BDBC Local Plan Policy EM1 states: *“development proposals must respect, enhance and not be detrimental to the character or visual amenity of the landscape likely to be affected” and “development proposals will not be accepted unless they maintain the integrity of existing settlements and prevent their coalescence”*,
181. The Basingstoke and Deane Local Plan includes a number of Strategic Gaps around Basingstoke with the purpose of preventing settlement coalescence and maintaining separate identities (Policy EM2).
182. BDBC Local Plan Policy EM2 states:
- “Strategic Gaps: In order to prevent coalescence of built-up areas and to maintain the separate identity of settlements, the generally open and undeveloped nature of the following gaps will be protected:*
- *Basingstoke – Oakley*
 - *Basingstoke - Sherborne St John*
 - *Basingstoke - Old Basing*
 - *Basingstoke/Chineham - Bramley/Sherfield on Loddon*

Preventing Coalescence with Basingstoke and Protecting the Setting of Cliddesden village.

183. Protecting the separate identity of Cliddesden is a key community objective of the Neighbourhood Plan as is protecting and respecting the landscape. The Cliddesden Neighbourhood Plan: Vision and Aims identify this as an important issue.
184. It is considered that coalescence would result in negative changes to the character and rural atmosphere of the village.
185. There are currently no relevant planning applications/appeal decisions that may indicate a future change of use which would not be consistent with the proposed Local Gap Policy.
186. Any intensification of development beyond the defined Settlement Boundary which would have the effect of reducing the separate identity of the two distinct settlements and increasing the coalescence between them would be inappropriate. Even limited new development could contribute to a cumulative undermining of the effectiveness of the Built-Up Area Boundary which has been designated with the protection of open countryside and the prevention of coalescence in mind.

The Proposed Local Gap

187. The proposed gap is shown in the Policy map below (Policy Map ENVI).



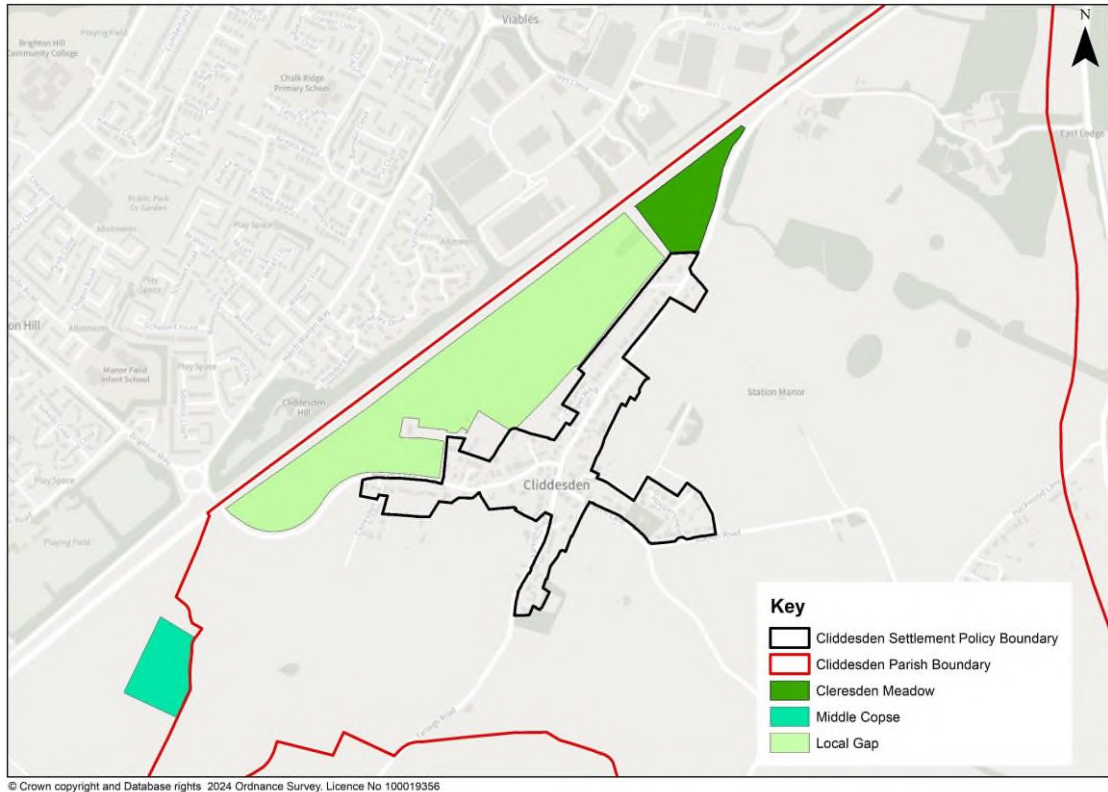
Policy Map ENVI - Local Gap

188. The proposed gap is proportionate in size being 4% of the total acreage of the parish. It reflects entirely physical and defensible field boundaries and encompasses the smallest area of land compatible with providing adequate protection against coalescence.
189. It is located immediately adjacent to the M3 motorway on the south side and the larger urban settlement of Basingstoke. The gap is designed to prevent the larger settlement consuming the smaller local identifiable locality and avoid the risk of coalescence with the town and Cliddesden becoming another suburb of Basingstoke. Coalescence would result in massively negative changes to the character and rural atmosphere of the village.
190. The separate identity of settlements and local communities should be safeguarded by ensuring the retention of undeveloped 'countryside gaps' between them and avoiding decisions which would result in their coalescence. One of the distinctive features of Cliddesden is its setting, and visual connectivity with the surrounding countryside. The landscape forms an intrinsic part of the character and setting of the village and provides informal and formal recreational opportunities for the community.
191. The general principle of settlement gaps to prevent the coalescence of settlement is broadly supported by national policy.

192. Maintaining the gap between Cliddesden and Basingstoke is of paramount importance for the retention of the wildlife habitat corridor allowing wildlife populations to travel through different habitats from:

- Middle Copse to the south which links ancient woodland across arable and grass fields bordered by native hedgerows, to:
- Cleresden Meadow (SINC) to the north.

These are shown on the map below:



Map 7 showing the green corridor from Middle Copse northwards to Cleresden Meadow

Description of the Local Gap

193. The Local Gap, predominantly in agricultural use, is located immediately adjacent to the M3 motorway on the south side, the larger urban settlement of Basingstoke is located to the north. The Gap is designed to prevent the larger settlement subsuming the smaller local settlement and avoid the risk of coalescence with the town to prevent Cliddesden becoming another suburb of Basingstoke.

194. It provides the landscape backdrop to the village. Woods Lane is the nearest portal from Basingstoke to Cliddesden parish, beginning under the motorway bridge. The pastoral landscape of the Hampshire Downs on either side of Woods Lane and beyond is in distinct contrast to the extensive built-up housing estates of Brighton Hill.



Woods Lane entry to Cliddesden from Basingstoke

195. Since its opening in 1972 the M3 motorway has traditionally been a barrier between Basingstoke and the open countryside to the south. It has had the effect of limiting development and this has had a positive result in preserving the unique village separate identity.
196. Proposals for development within the Local Gap will only be acceptable where development does not reduce the physical separation/visual separation of Basingstoke and Cliddesden, or compromise the integrity of the gap, individually or cumulatively with other existing or proposed developments.
197. Detailed description of the fields within the gap (as shown on the Policy Map ENVI) is set out in the background evidence document.

Consultation

198. The community is shown to be overwhelmingly in favour of this policy. Almost all the respondents to the first questionnaire felt strongly that maintaining the physical separation from the urban expansion of Basingstoke was very important to prevent coalescence of town and village. In response to Question 2 which asked how important “maintaining the physical separation of Cliddesden from the urban expansion of Basingstoke”, responses indicated 96% felt this issue was important. Further details are within the background evidence document.

POLICY ENVI Local Gap Policy

The Local Gap as shown in Policy Map ENVI will be protected to prevent coalescence between Cliddesden and Basingstoke and to retain the individual identity of Cliddesden Village.

Development proposals within the Local Gap will only be permitted if they comply with development plan.

Proposals will be supported within the identified gap provided development does not reduce the physical separation/visual separation of Basingstoke and Cliddesden, or compromise the integrity of the gap, individually or cumulatively with other existing or proposed developments.

Evidence Source

Community Consultation Results from 2019

2020 Issues and Options Consultation;

Hampshire Integrated Character Assessment 2012;

CPRE Landscape Issues in Your Neighbourhood Plan;

Basingstoke and Deane Strategic Gaps Topic Paper, October 2014;

Local Gap – Background paper Cliddesden Parish Council

Local Green Space

Policy Background

199. The NPPF 2023 states in paragraph 106:

“The Local Green Space designation should only be used where the green space is: a) in reasonably close proximity to the community it serves; b) demonstrably special to a local community and holds a particular local significance, for example because of its beauty, historic significance, recreational value (including as a playing field), tranquillity or richness of its wildlife; and c) local in character and is not an extensive tract of land.”

200. The Local Plan sets out in Policy EM4 – Biodiversity, Geodiversity and Nature Conservation - in order to secure opportunities for biodiversity improvement, relevant development proposals will be required to include proportionate measures to contribute, where possible, to a net gain in biodiversity, through creation, restoration, enhancement and management of habitats and features including measures that help to link key habitats. Policy EM5 – Green Infrastructure – states that the council will support proposals which seek to improve links and remedy identified deficiencies in the green infrastructure network in accordance with the council’s Green Infrastructure Strategy.

201. The Cliddesden Village Design Statement identifies a number of green spaces; the “green fingers” which contribute to the character of the settlement.

“Cliddesden is fortunate in having several extremely valuable publicly visible open spaces which are exhibited as swathes of green grassland or “green fingers”, extending from the open countryside into the middle of the village. These fingers integrate Cliddesden with the surrounding rural landscape and include Southlea Meadow, the fields north-east of Woods Lane, those behind the garage and the Meadow south-west of Church Lane. All descend from higher ground and are a prominent feature of the village”.

202. Basingstoke & Deane Borough Council Green Infrastructure Strategy states:

“Accessible and cared-for green spaces provide opportunity for physical activity and contact with nature which has direct health benefits, reducing (in combination with other factors) the occurrence of heart and respiratory disease, stress, mental illnesses and obesity and associated economic benefits Recreation and Leisure Green spaces close to residential areas.”

Background

203. Cliddesden is a rural village lying in a valley surrounded by open field and paddocks. However, with the exception of a small area of grass, to the rear of the village hall, there is very little public open space to facilitate social interaction. Even the area around the pond is very limited not supporting anything more than a small social group. This means that the open spaces, footpaths, rights of way and views around the parish are especially important to the community. The amenity value of the local countryside is something not just valued by residents of the village but is enjoyed by the wider community as evidence by walkers and cyclists from Basingstoke. As a specific example, the annual Basingstoke half marathon passes through Cliddesden. Even

the areas without public access provide amenity value because of the views into the sites and their rural character and sense of tranquillity.

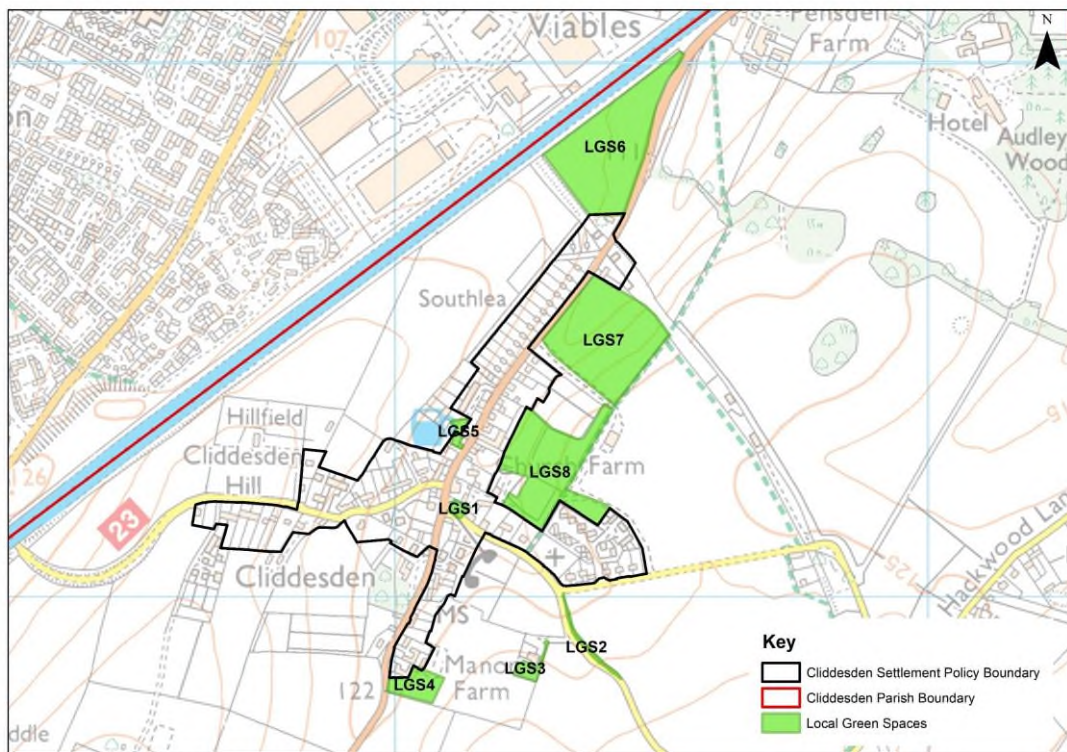
204. Policy ENV2 aims to protect the local green spaces in Cliddesden and supports the aims and objectives of the Neighbourhood Plan. In the Village Design Statement (VDS), six separate areas of land are identified as “green fingers” and many of the Local Green Spaces (LGS) referenced in Policy ENV2 include areas that were identified as being “Green Fingers” in the VDS.
205. The Conservation Area Appraisal (CAA) document was adopted as Supplementary Planning Guidance by the Basingstoke and Deane Borough Council in 2003. Many of the LGS identified are located within the Conservation Area.

Consultation

206. Consultation undertaken for the Neighbourhood Plan has shown strong support both for preserving the “green fingers” and green spaces of the parish in general. Feedback from the Neighbourhood Planning Open Day in November 2018 showed strong support to preserve the green fingers. Further details are set out in the background evidence paper.
207. The response to question 2 of the first community questionnaire in 2019 showed that 95% of respondents felt that protecting the Local Green Spaces was very important.

The Proposed Local Green Spaces

208. The Policy Map ENV2 illustrates the location of the designated local green spaces.



Policy map ENV2 showing location of Local Green Spaces

209. The Background evidence report provides a comprehensive audit and description of each of the proposed LGS. A summary table is set out in [Appendix B](#).
210. It is important to address matters relating to the cumulative nature of LGS designations. The supporting text needs to show and demonstrate the separation of the LGS packages by describing physical or visual barriers dividing them. The LGS in close proximity to another LGS includes LGS7/LGS8.
211. There are physical divisions and differences in character between LGS7 and LGS8. They are separated by a wide track that is lined with hedgerows and standard trees. LGS7 is an arable field and LGS8 is an area with a number of trees.
212. LGS 6, Cleresden Meadow is a excellent example of an arable field which has been reverted to a wildflower meadow. The value of this area is recognised through its designation in 2023 as a Site of Importance for Nature Conservation. Individual inset maps of each LGS can be found at [Appendix C](#).

POLICY ENV2. Protection and enhancement of the natural environment and Local Green Spaces.

The following areas are designated as Local Green Spaces, as shown on Policy Map ENV2:

The Local Green Spaces, as shown on Policy Map ENV2 are as follows:

- LGS 1: Village Pond and Surrounds
- LGS 2: Wildflower Bank,
- LGS 3: Cliddesden Millennium Hall Grounds, Church Lane
- LGS 4: Woodland, Farleigh Road
- LGS 5: 'The Jolly Farmer' Public House Garden,
- LGS 6 Cleresden Meadow
- LGS 7: Southlea Meadow
- LGS 8: Grass Areas and Paddocks behind Farleigh Road

Evidence Source

Community Consultation Results from 2019

2020 Issues and Options Consultation;

Local Green Space – Background paper Cliddesden Parish Council

Village Design Statement

Trees, Woodlands, Hedgerows and Wildlife Corridors



Tree Planting in 2009

Policy Background

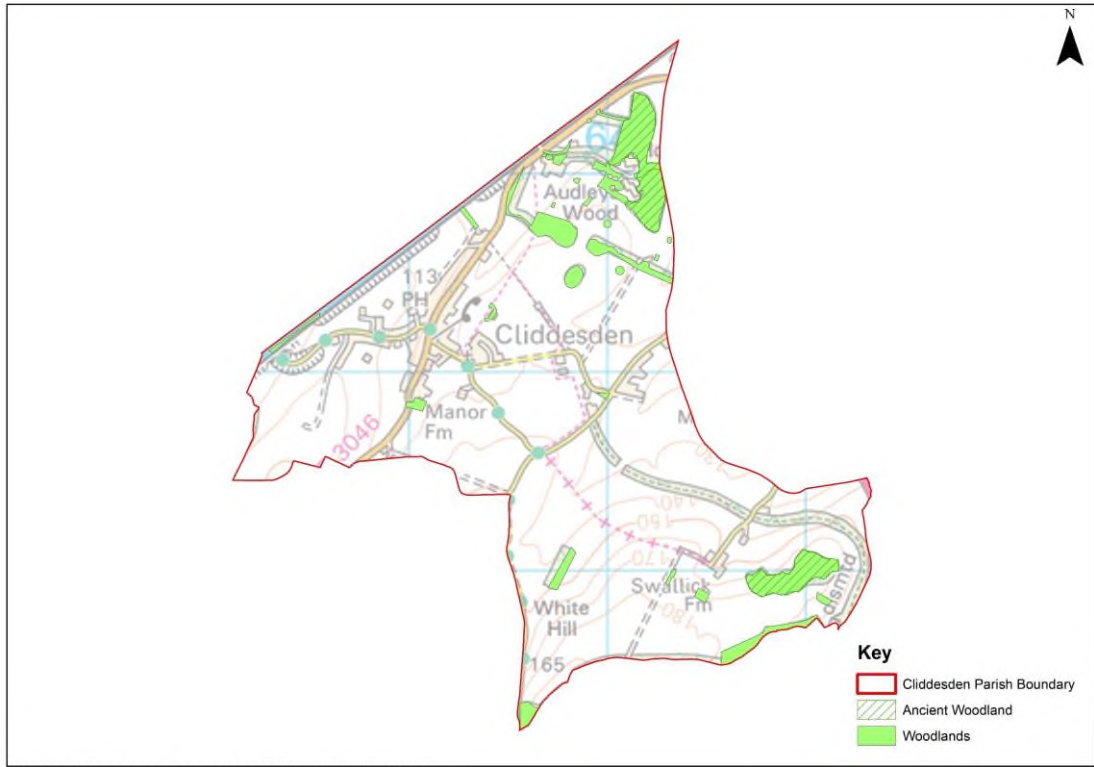
213. The National Planning Policy Framework 2023 (paragraphs 180 – 184) places great importance on the natural environment and the planning system’s environmental role in delivering and securing sustainable development. This includes protecting the natural environment, improving biodiversity, using natural resources prudently and mitigating the effects of adapting to climate change.
214. Basingstoke & Deane Borough Council’s Local Plan 2011-2029 Policy EM4 emphasises the importance of protecting the natural environment by ensuring new development does not adversely affect it, and where appropriate of sensitively enhancing it and improving access to it. The areas concerned include important landscapes, natural features and areas of biodiversity. The Local Plan provides an overarching statement of the factors which will be taken into consideration when the impact of development proposals on biodiversity and geodiversity is assessed.
215. The Village Design Statement 2004 highlights how sympathetic development should be undertaken, this included:

“preserve and enhance the extensive and important tree cover within the village including mainly indigenous species of semi-mature trees and shrubs. The existing cloak of natural vegetation should be extended to integrate any new buildings. Sufficient space should be allocated for the future growth of these plantings and their care.”

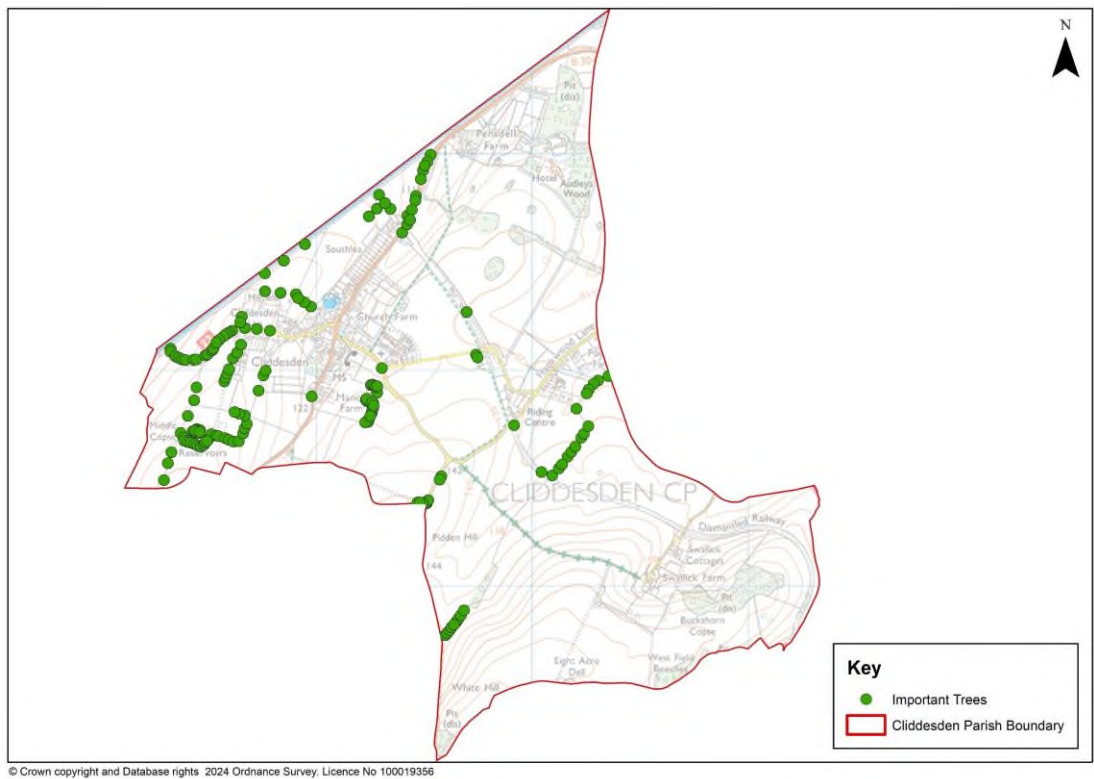
216. The Conservation Area Appraisal 1981 highlights the importance of trees and hedges. Important background documents include Basingstoke & Deane Borough Council's Green Infrastructure Strategy Nov 2018 and Basingstoke and Deane Landscape Biodiversity and Trees SPD:

Trees and Woodland

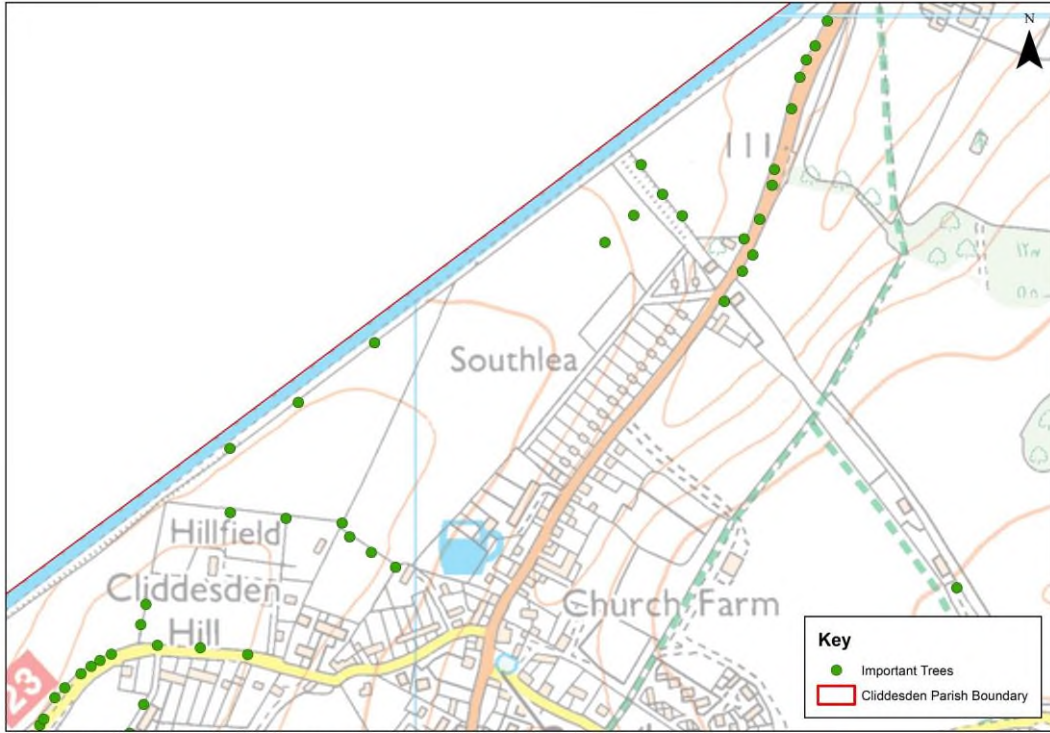
217. A typical characteristic of the village is the rich and prolific tree population, which also lines the ancient field boundaries of the more open arable landscape surrounding the settlement. The effect of these is to soften the hard roof lines of buildings with trees adding significantly to the visual appeal.
218. The approach roads to the Village are largely bounded by trees and mature hedges, which all add to the rural feel of the area. To maintain the leafy nature of the village it is desirable for all tree works to be carefully considered and all Tree Preservation Orders (TPOs) need to be enforced.
219. Trees and hedgerows help to define entry points to the village and create a sense of place for a rural community, examples include the Field Maple near the church and the atmospheric entry to the village under a canopy of trees in Woods Lane. Important trees, hedgerows and woodland provide a natural habitat, support biodiversity and make an important contribution to the character and quality of the countryside and landscape. Many of these important natural features are protected by legislation and landowners should check whether removal of a hedgerow requires permission prior to commencing works, as long as it does not affect their intrinsic character, their accessibility to the local community is supported and encouraged so that their value can be appreciated.
220. The importance of Cliddesden's trees and hedgerows to the community is demonstrated by the endeavours of the Cliddesden Community Conservation Group, which is actively supported by 46 households, over 20% of the population. Since 2004 members and volunteers have planted 17,000 trees as hedgerows and copses within the parish to enrich the natural environment.
221. B&DBC Landscape Biodiversity and Trees SPD states that 'a minimum buffer of 20 metres should be provided between the edge of the woodland/tree belt and the development. Where a minimum buffer is proposed, information will be required to demonstrate that this will be adequate to prevent any adverse impact upon the woodland or tree belt feature.'
222. The important trees which have been identified for protection by Policy ENV3 are identified on Policy Map ENV3b below. The overall important tree policy map ENV3b is supported by three further maps (ENV3c, ENV3d and ENV3e) which provide further detail of the location of each individual tree. The important trees are also identified in the evidence document which supports this policy, with a photograph of each tree or group of trees to be protected. The evidence document can be found [here](#).



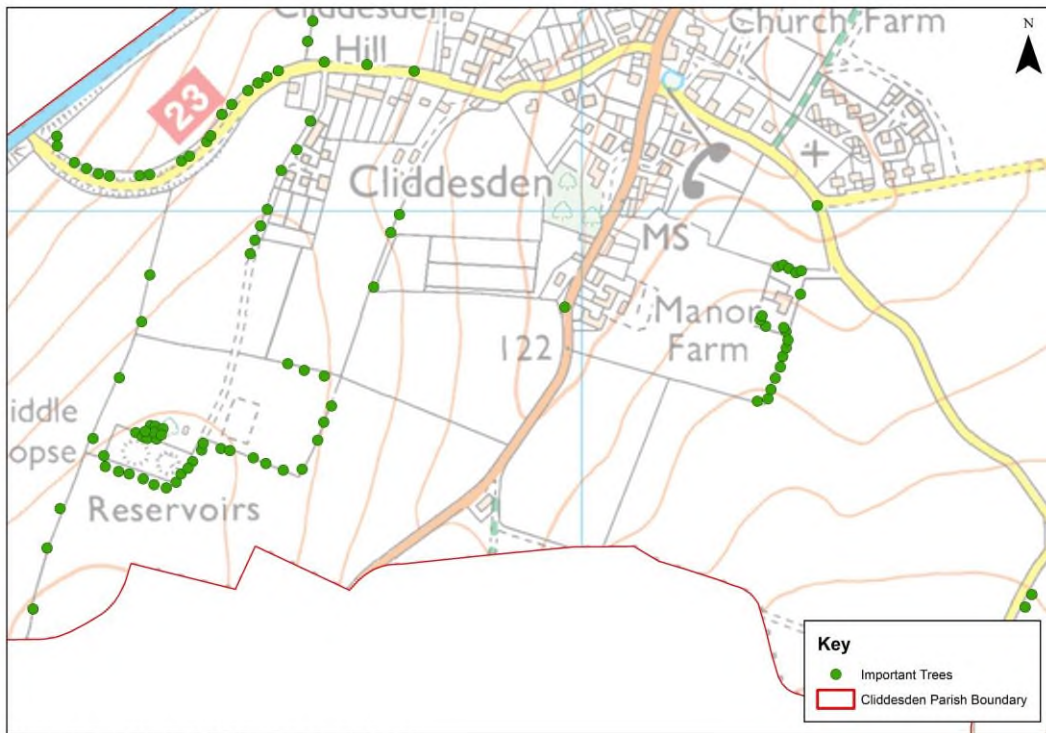
Policy Map ENV3a – Important Woodlands



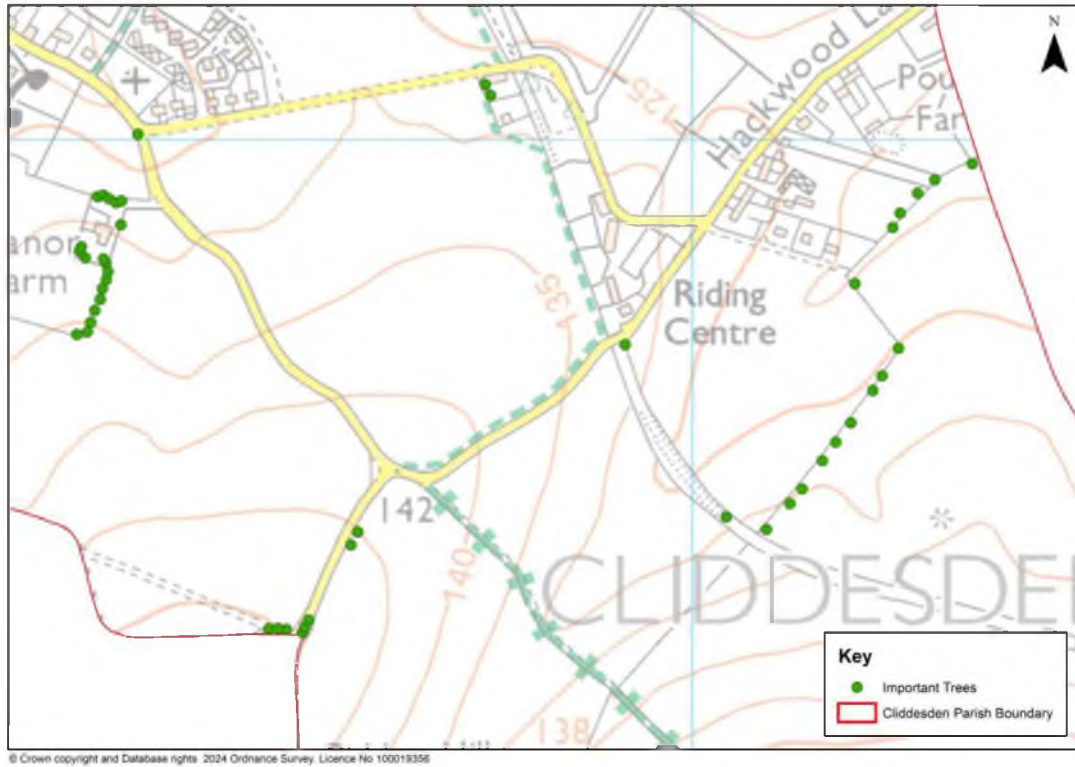
Policy Map ENV3b Important Trees



Policy Map ENV3c Important Trees



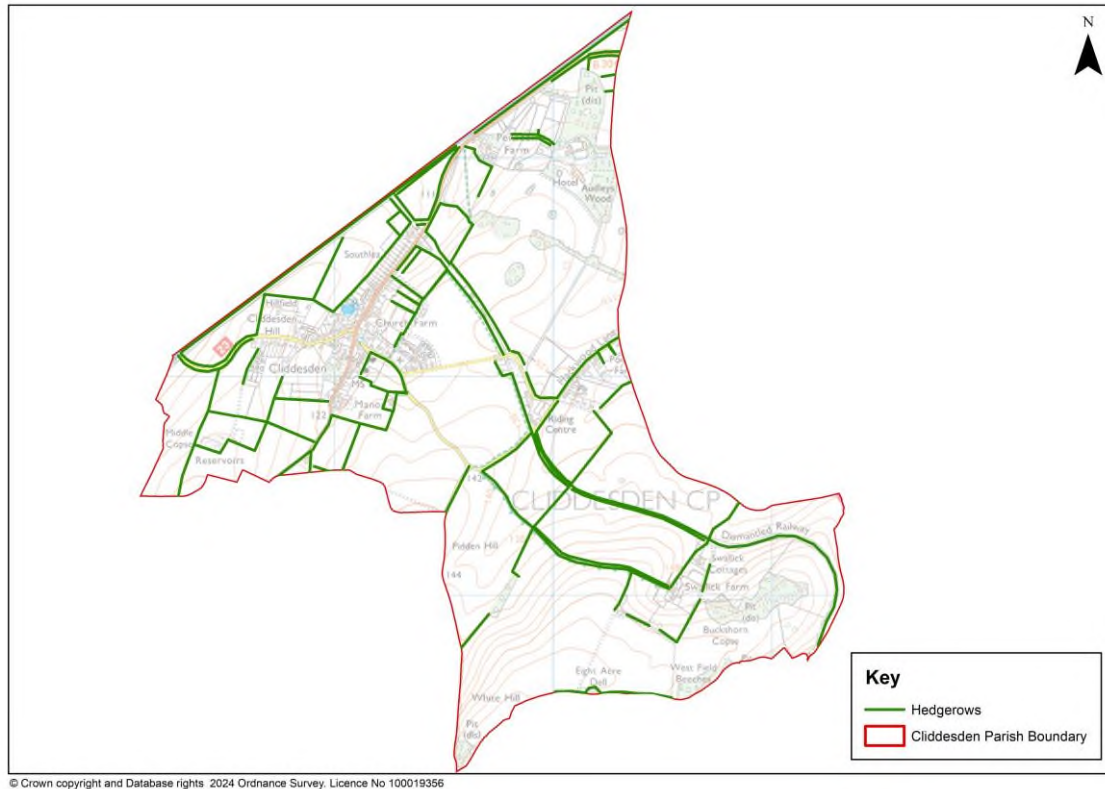
Policy Map ENV3d Important Trees



Policy Map ENV3e Important Trees

Hedgerows

223. It would be unrealistic to survey every hedgerow in the parish for species. Any proposal to remove a hedgerow more than 20m in length, will need to be accompanied by a professional survey to determine the make up by species. Further information regarding hedgerows and maps highlighting the location of hedgerows is set out in the Parish Council's background evidence paper.

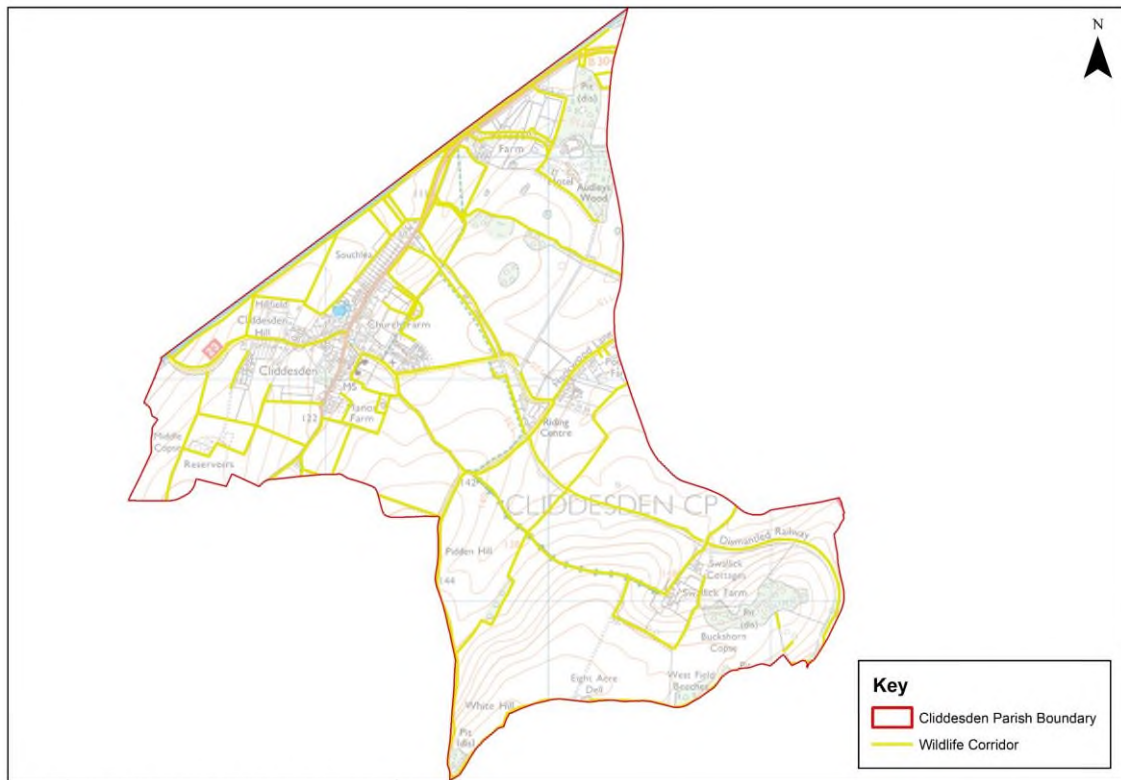


Policy Map ENV3f Hedgerows

Wildlife corridors

224. The term 'wildlife corridor' is used to refer to any linear feature in the landscape that can be used for migration or dispersal of wildlife. Wildlife or biological corridors offer the possibility of linking habitats and reducing the isolation of populations. Wildlife corridors are found at all levels: tree canopies, hedgerows and verges which connect together to form vital important habitats and migratory routes for wildlife to disperse to find food, shelter, breeding sites and potential mates.
225. These corridors extend beyond the parish boundary to neighbouring areas. Plants and fungi colonise new areas by seed and spore dispersal so need connecting areas of suitable ground as do animals migrating on foot or by wing.
226. The aim of the network of green infrastructure corridors is to promote connectivity between core areas and through the wider landscape, thus allowing wildlife to move in response to

environmental change and other factors. Cliddesden is working to link sites, buffer sites, restore areas of habitat and allow wildlife to move more easily through the landscape.



Policy Map ENV3g Important Wildlife Corridors

Health and Wellbeing

- 227. The health and wellbeing of Cliddesden’s residents depends heavily on the green space in which they live. This has been shown dramatically during the 2020/2021 Covid 19 global pandemic. Not only local people, but visitors to our parish taking allowed exercise along the many footpaths and bridleways have found fresh air, peace and relaxation contributing beneficially to both physical and mental health.
- 228. The rural landscape of the parish acts as a “green lung” for the conurbation of Basingstoke. Trees, hedges and all plants absorb atmospheric carbon and trees lock it up for centuries through photosynthesis. The entire woodland ecosystem plays a huge role in locking up carbon, including the living wood, roots, leaves, deadwood, surrounding soils and its associated vegetation. Trees, whether in woodland, stand-alone or in hedgerows, do more than just capture carbon and many other harmful pollutants.

Community Consultation

- 229. In response to question 2 of the 2019 consultation, the community felt it was very important to protect trees, hedgerows and wildlife habitats and corridors. In response to question 5, retaining and protecting trees, hedges, wildlife corridors proved to be the most important principles.

230. In the 2020 Issues and Options consultation question 4.3A, 93% agreed with the option to create a policy to ensure that trees, hedgerows, woodlands and wildlife corridors in the plan area are protected and enhanced. Further details are set out in the supporting evidence.

POLICY ENV3 Protection and Enhancement of the Natural Environment

Development proposals that conserve or enhance the important trees, woodland, important hedgerows or wildlife corridors (as defined in the Policy Maps ENV3a, ENV3b, ENV3c, ENV3d, ENV3e, ENV3f and ENV3g) will be supported.

Development proposals should avoid the loss or damage of important trees, woodlands, or wildlife corridors, where loss or damage to trees cannot be avoided adequate mitigation and/or compensation should be provided, having regard to guidance in the B&DBC Landscape Biodiversity and Trees SPD (December 2018).

Appropriate to their scale, nature and locations development proposals should demonstrate how they will conserve and enhance the local environment and take into consideration the following:

- a) The provision of wildlife corridors and buffer areas to protect habitats will be supported.
- b) Development adjacent to important Woodland or Ancient Woodland shall include buffer zones of at least 20m.
- c) Development adjacent to important trees shall ensure that there is adequate space to allow for their future retention and growth.
- d) Development adjacent to important hedgerows or wildlife corridors shall include buffer zones of at least 5m unless it can be demonstrated that adverse impacts on the hedgerow habitat can be satisfactorily addressed if a lesser distance is applied.
- e) development proposals should demonstrate a minimum of 10% net increase in biodiversity²⁰.
- f) Proposals for public access to areas of important trees, hedgerows and woodland will be supported and encouraged where they will not cause harm to biodiversity and/or geodiversity.

Evidence Source

Basingstoke and Deane Landscape Biodiversity and Trees SPD;

Cliddesden Community Consultation Results;

Cliddesden Village Design Statement;

Conservation Area Appraisal 2003

Cliddesden Design Code 2024;

Basingstoke & Deane Green Infrastructure Strategy

Trees, Woodlands, Hedgerows and Wildlife Corridors - Background paper Cliddesden Parish Council

¹⁹ [Landscape, Biodiversity and Trees Supplementary Planning Document](#)

²⁰ Certain types of development are exempt from Biodiversity Net Gain, these are: permitted development rights; householder applications; development which only has a 'de minimis' impact on habitats; developments undertaken for the purpose of fulfilling the BNG planning condition for another development; high speed railway network; and certain self-build and custom build developments.

Important Views



Sunrise at Cliddesden School

Policy Background

231. The Parish of Cliddesden considers that it is vital to protect the agricultural land in the Parish, which is supported by the National Planning Policy Framework (NPPF 2023) in paragraph 128 (d) - the desirability of maintaining an area's prevailing character and setting (including residential gardens), or of promoting regeneration and change and paragraph 180 (b) - recognising the intrinsic character and beauty of the countryside, and the wider benefits from natural capital and ecosystem services – including the economic and other benefits of the best and most versatile agricultural land, and of trees and woodland.
232. Policy EMI of the Local Plan – Landscape states that development proposals must respect, enhance and not be detrimental to the character or visual amenity of the landscape likely to be affected, paying particular regard to - c) The setting of a settlement, including important views to, across, within and out of settlements.

Introduction

233. The local landscape has changed relatively little since Saxon times. The village is recorded in the Domesday Book 1086 as 'CLERESDEN', land belonging to Durand of Gloucester with 6 villagers, 10 smallholders and 9 slaves with plough lands and plough teams at an annual value to the lord of £3. Cliddesden was agricultural then and it still is now.
234. It has grown slowly over the years but remains a small, quiet village and a jewel nestled in chalkland down countryside, a gateway to the Hampshire Downs, with many vantage points offering magnificent views of the chalk downland landscape from the many delightful walks and cycle routes, as well as picturesque buildings. The village is a linear settlement with one main road, Farleigh Road, with attractive views between the built environment. Splendid long-distance panoramic vistas out of the village can be accessed via the footpaths, bridleways and lanes that lead off from the village centre. The views set out in Policy ENV4 (see below) have been chosen

because they are shown to be important to the local population and because they are truly representative of Cliddesden's rural character. The green landscape surrounding the settlement acts as the 'lungs' of Basingstoke, absorbing pollution, providing fresh air, inviting people to sample the benefits of the countryside.

235. Important views are from places that are publicly accessible, well-used and regularly frequented by the local community and contain significant buildings and landscapes that help to define and enhance the character of the parish. From Farleigh Wallop down the hill to Cliddesden, wide expanses of open rolling farmland greet the traveller to the left and right as the settlement, nestled in the valley, is reached. Land use is mainly arable, with some woodland cover and hedgerows defining field boundaries.
236. Although some of the views extend beyond the Parish boundary, this policy only relates to those parts within the Parish.
237. The background evidence document in support of Policy ENV4 refers to important views identified in a number of other documents. This includes The Cliddesden Conservation Area Appraisal (CCAA), the Cliddesden Design Code 2024 and CPRE's Valued Landscape Assessment. The CNP concurs that developments must be designed to preserve and not obstruct the key views indicated in the Cliddesden Design Code 2024, the views identified in the Valued Landscape Assessment document and the views indicated in the Cliddesden Conservation Area Appraisal. The views set out in Policy ENV4 are in addition to those set out in these documents.

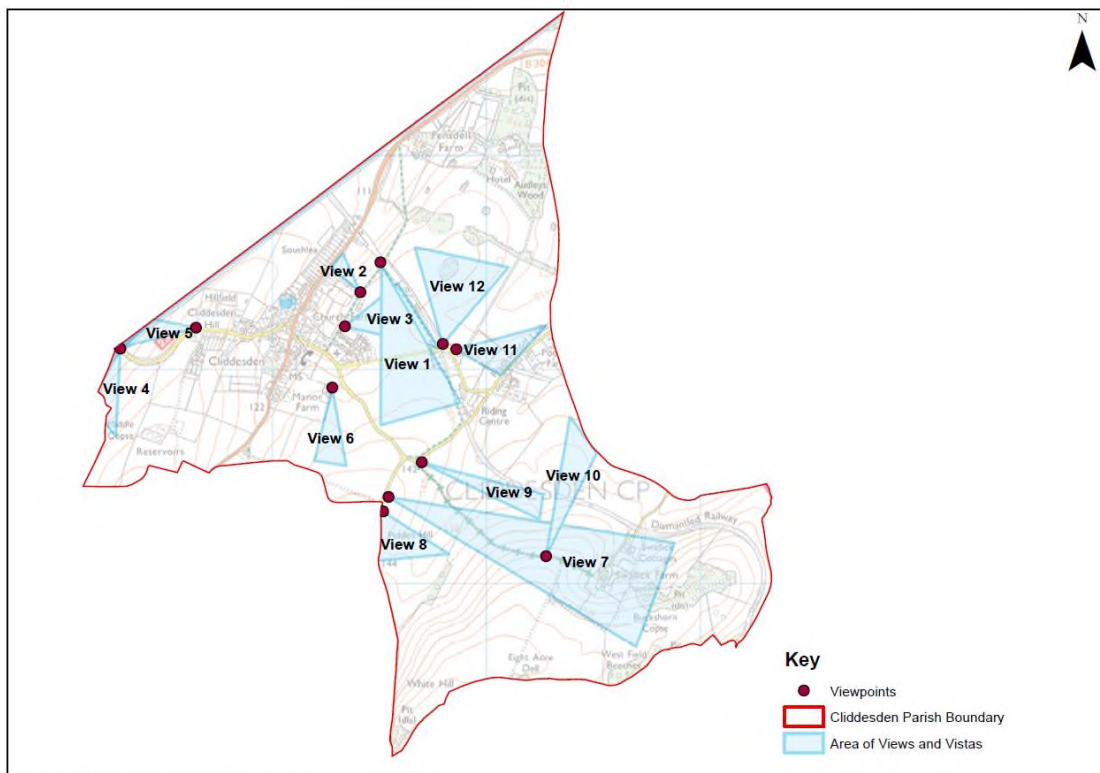


View towards Hackwood Lane from Station Road (VII)

238. The Views identified in the CCAA document and the Cliddesden Design Code 2024 (CDCD) tend to concentrate on the area around the village core and the Conservation Area. As a part of work undertaken on the Cliddesden Neighbourhood plan, a number of further views around the wider plan area have been identified.
239. The background evidence document provides the methodology for undertaking the assessment of views for inclusion in the Neighbourhood Plan. Views within the parish have been assessed using a number of criteria devised to identify views of significant importance.
- Accessibility by the public from public roads, footpaths or green spaces

- Showing a range of physical (natural or man-made) features and an expanse of the parish not one particular object unless this is a building of particular historic importance.
- Possessing one or more of the following values: recreational, historical, biodiversity, aesthetic, or tranquillity

240. Additional views (not included in CCAA or CDCD) were identified by the CNP team and captured in Policy Map ENV4. This map was shared with the community as part of the 2020 Issues and Options consultation. The consultation sought additional important views from the community. Whilst individual suggestions for views were received, there was no clear consensus on any further views to add to the list.



Policy Map ENV4 Important Views

241. Details about each of the views is set out in the background evidence document and a summary table is attached as [Appendix D](#). Whilst views in and out of the parish clearly extend beyond the parish boundary, the CNP can only influence development within the Neighbourhood Area. The Neighbourhood plan includes some photographs of the important views, photographs of all views can be found at [Appendix E](#).



View 2: The downhill track from the public footpath looking northwards to the row of Southlea.

Consultation

242. Question 2 of the 2019 questionnaire asked “how important do you feel the following environmental issues are for Cliddesden?” showed strong support for preserving the ‘open’ feel of the parish by protecting the important views. The community felt it was very important to safeguard important views and vistas. 90% of respondents felt strongly or very strongly that open views in the parish should be protected.
243. Question 4 .4A of the 2020 Issues and Options questionnaire asked about creating a policy to protect important views and vistas. The responses to this proved it to be an important principle: 96% of respondents felt strongly or very strongly that there should be a policy to protect open views in the parish. The Important Views in the policy map were shared with the community as part of the 2020 consultation process.



View 6: Looking eastwards from Cliddesden Millennium Village Hall



View 7: From the Primary School northwards to Swallick



View 9: From Swallick Byway eastwards towards Swallick Farm

POLICY ENV4. Preserving Important Views in the Parish of Cliddesden

Development proposals in the Neighbourhood Plan Area should take account of the important views (as shown on Policy Map ENV4), and should conserve, and where possible, enhance the views within, to and from the settlement and open countryside, especially where these views are from public accessible areas.

Developments must be designed to preserve and not obstruct the views shown on Policy Map ENV4 and listed below:

- V1 from the public footpath (FPI) southwards towards Cliddesden Primary School in the distance
- V2 from the public footpath northwards to the row of Southlea Cottages
- V3 from the public footpath eastwards across the field to Railway Cottages, Old Station Master's House
- V4 from the bottom of Woods Lane westwards to the M3 motorway southwards to Middle Copse (ancient woodland)
- V5 from the gate at the top of Woods Lane westwards
- V6 from Cliddesden Millennium Village Hall eastwards across green fields
- V7 from the Primary School eastwards to Swallick
- V8 from the Primary School southwards to the ancient mediaeval drove way
- V9 from Swallick Byway eastwards towards Swallick Farm
- V10 from Swallick Byway northwards to Hackwood House
- V11 from Station Road eastwards to Hackwood Lane

V12 from Station Road northwards to Pensdell Farm

Development proposals which would have an unacceptable detrimental impact on an identified view will not be supported. Mitigation measures should be put in place for when harm or obstruction cannot be avoided.

Where important Views are across sites designated as Local Green Spaces, policy ENV2 applies to those sites.

Evidence Source

Cliddesden Community Consultation Results;

Cliddesden Conservation Area Appraisal;

Cliddesden Design Code 2024;

CPRE Hampshire – Tract of land to the south east of Basingstoke;

Important Views and Vista - Background paper Cliddesden Parish Council



View 10: To Hackwood House northwards from the byway leading to Swallick Farm

Dark Skies and Light Pollution

244. National Planning Policy Framework 2023 – Ground conditions and pollution. Paragraph 191 Planning policies and decisions should also ensure that new development is appropriate for its location taking into account the likely effects (including cumulative effects) of pollution on health, living conditions and the natural environment, as well as the potential sensitivity of the site or the wider area to impacts that could arise from the development. In doing so they should: c) limit the impact of light pollution from artificial light on local amenity, intrinsically dark landscapes and nature conservation.
245. There is no specific policy in the Local Plan regarding light pollution or dark skies. However, paragraph 6.107 states that artificial lighting schemes whether proposed or existing are a consideration for new or existing residential development and can often give rise to unwanted impact (such as on local amenity, intrinsically dark landscape and nature conservation).
246. Cliddesden Design Code 2024 highlights in section 3.8 that light pollution from new developments, for example street lighting, security lighting and upward illumination for skylights, could change the rural character and in section 4.2 it states that minimising urbanising features such as close-boarded fencing, footpaths alongside roads and street/security lighting should be considered.
247. Part of the attractiveness of this area of the Borough of Basingstoke & Deane is the peace and tranquillity and calming effect afforded by dark skies. However, the rural character of the village is being damaged by avoidable light pollution. Dark skies are being compromised with a consequent negative impact on wildlife.
248. In 2019, following complaints made from residents in Cliddesden concerning light pollution from the Sony building in the Viabes area across the M3 motorway, to the north of Cliddesden. Sony initiated a project to replace some of its external lighting. This resulted in a reduction in light pollution and, as confirmed by Sony, a reduction in electricity consumption.
249. Question 2 of the community questionnaire from 2019 asked “how important do you feel the following environmental issues are for Cliddesden?” Responses indicated: 82% agree or strongly agree to “maintaining the “dark skies” feel of the parish.”

Policy ENV5: Dark skies, light pollution and external lighting

Development proposals should be designed to minimise the occurrence of light pollution by:

- a) Meeting or exceeding the Institute of Lighting Professionals guidance or successor guidance; and
- b) Avoiding unnecessarily visible lighting in designated wildlife sites or the surrounding landscape; and
- c) Having regard to the following hierarchy:
 - i. avoid the installation of additional external lighting
 - ii. Install lighting necessary for its intended purpose or use at the lowest practical lumens value and avoid adverse impacts where possible
 - iii. appropriate mitigation of adverse impacts

Evidence Source

Cliddesden Community Consultation Results;

Basingstoke and Deane Landscape Character Assessment May 2021;

Dark Skies and Light Pollution - Background Evidence paper Cliddesden Parish Council

Community Aspirations

250. The following section of the Cliddesden Neighbourhood Plan identifies a series of actions that have arisen through the community engagement process in preparing the Neighbourhood Plan. These were considered by the community to be important matters but do not necessarily require planning permission or relate to land use matters. As such, they are not the subject of planning policies in the Neighbourhood Plan

Consultation

251. Cliddesden is a small historic village with a Church that dates back to the 12th Century. It has 19 listed buildings and the heritage and environment are treasured by the local community who wish to preserve its unique character. Consultation is seen as an essential means to ensure that development does not erode the special character and community of Cliddesden.

252. The NPPF (2023) encourages developers to engage with the local community. Paragraph 40 states:

'Local planning authorities have a key role to play in encouraging other parties to take maximum advantage of the pre-application stage. They cannot require that a developer engages with them before submitting a planning application, but they should encourage take-up of any pre-application services they offer. They should also, where they think this would be beneficial, encourage any applicants who are not already required to do so by law to engage with the local community and, where relevant, with statutory and non-statutory consultees, before submitting their applications'.

253. Question 6.1F of the 2020 Issues and Options Questionnaire showed that 99.4 of respondents voted for a policy that developers should consult with the local community early in the planning application process (pre application stage) for any development of 10 or more houses.

Community Aspiration CA1: Consultation

A meaningful community consultation process ensures that new developments can benefit from local knowledge and respond to community concerns resulting in developments that are truly integrated into their wider environment. Developers wishing to submit applications for new residential developments larger than 10 dwellings are encouraged to:

- a. Make contact with Cliddesden Parish Council and provide details of the proposed site and the nature of the development and, if requested, attend a meeting to discuss the application prior to submitting the consultation.
- b. Undertake a minimum of two community consultations prior to a planning application being submitted. The first would be a session before any designs have been developed to gauge local opinion and gather information from the community in order to inform

the design process. This would be followed by a consultation prior to the application to enable feedback on the design being submitted and how it reflects and responds to community concerns. Additional consultations between these may be considered if appropriate to the feedback and to refine proposals.4.1.

- c. It is suggested that consultation sessions should be advertised in the local media, be advertised on our notice boards and details provided on the Parish Council website and in the Newsletter. Advertisements are best made at least two weeks prior to consultation sessions taking place.

Transport and Movement

Community Aspiration CA2: Transport and Movement

Working through the Parish Council, who will seek help from Hampshire County Councils Highway Department, the Neighbourhood Plan has identified the wish for:

- a. Identifying speed control measures, especially at the entry points to the village along both ends of Farleigh Road and Woods Lane. These measures could involve better signage, different road markings or road surfaces and the careful attention to the apparent width of some carriage ways by the detailing of kerbs, verges and street furniture;
- b. Trying to reduce the speed limit of certain routes, especially Woods Lane;
- c. Maintaining vegetation and hedges to keep footpaths, pedestrian lanes and pavements open and clear;
- d. Better footpath signage to promote the many walks available within the parish;
- e. Look at current off-road parking issues and try to restrict those areas identified as dangerous and difficult for free movement of cars and pedestrians, especially the Southlea end of Farleigh Road; and
- f. Try to promote the National Cycling Route with better signage and indications of routes and mileage to different areas of the Candovers.

Non-Designated Heritage Assets²¹

254. There are a number of structures and features within the parish that contribute to the history of Cliddesden, even though they may not have listed status. The intent is to protect and conserve history and heritage of the village.
255. A list of non-designated heritage assets was prepared by the Parish Council. The comments made in the Issues and Options Questionnaire were also taken onto account in the preparation of the list. The completed and final list of assets was consulted on with the residents of Cliddesden via the monthly newsletter. However, further work needs to be undertaken to complete the assessment of those assets and to undertake a fully detailed consultation process.

Community Aspiration CA3: Non-Designated Heritage Assets

Cliddesden Parish Council will undertake detailed research and consultation in order to establish a list of Non-Designated Heritage Assets for the Neighbourhood Plan area.

²¹ Heritage assets include designated and non-designated heritage assets. Designated heritage assets include Scheduled Monuments, Listed Buildings, Registered Parks and Gardens or Conservation Areas designated under the relevant legislation. Non-designated heritage assets are buildings, monuments, sites, places, areas or landscapes identified as having a degree of significance meriting consideration in planning decisions but which are not formally designated heritage assets, although they may be identified as having local importance. In some instances, non-designated assets, particularly archaeological remains, may be of equivalent significance to designated assets, despite not yet having been formally designated.

Bibliography

AECOM	Infrastructure consulting firm, delivering professional services throughout the project lifecycle – from advisory, planning, design and engineering to program and construction management. Consultant that produced the “Design Guide”
ALP	Adopted Local Plan – Referring to the adopted Basingstoke and Deane Local Plan
BAP:	Biodiversity Action Plan. priority habitats which cover a wide range of semi-natural habitat types and were those that were identified as being the most threatened and requiring conservation action under the UK Biodiversity Action Plan.
B&DBC	Basingstoke and Deane Borough Council. The Local Planning Authority
BDLP	Basingstoke and Deane Local Plan 2011 – 2029. Currently under review, which when approved would extend its life to 2038.
CAA	Conservation Area Appraisal. to define what is important about its character and appearance and to identify its important characteristics. It is also a vital tool to enable the active management of the conservation area.
CCAA	Cliddesden Conservation Area Appraisal. Completed in 2003 by Basingstoke and Deane BC
CDCD	Cliddesden Design Code 2024. See DC
CIL:	Community Infrastructure levy: A levy that local authorities can choose to charge on new developments in their area. The charges are based on formulae relating to the size and type of the new development and money can be used to support development by funding infrastructure that the council, local community neighbourhoods want.
CNP	Cliddesden Neighbourhood Plan. The Localism Act proposes new powers for communities to influence planning decisions in their area. Neighbourhood plans will be vehicles for communities to be able to propose land use and development, but these must be in line with the development plan of the local planning authority
CPRE	The Countryside Charity, formerly known by names such as the Council for the Preservation of Rural England and the Council for the Protection of Rural England, is a charity in England
DC	Design Code: The Cliddesden Neighbourhood Planning Team engaged with consultant AECOM to produce a Design Code 2024 document. The main objective of this document is to establish principles so that new development is designed and planned with regard to the existing character and context of the Cliddesden Neighbourhood Plan Area within the Neighbourhood Plan.
DpH	Dwellings per Hectare. (dph) is the most widely used density measure nationwide and is considered to be the most appropriate means of measuring density of housing developments.
EiP	Examination in Public. When the Basingstoke and Deane Local Plan is consulted on.
Heritage Assets	Parts of the historic environment that have significance because of their historic, archaeological, architectural or artistic interest. They include designated heritage assets (such as listed buildings and conservation areas) and assets identified by the local planning authority during the process of decision-making or through the plan making process
HRA	Habitats Regulations Assessment. Report produced by Basingstoke and Deane to test if a plan or project proposal could significantly harm the designated features of a European site

LGS	Local Green Space: Paragraphs 105 to 107 of the National Planning Policy Framework introduce a Local Green Space designation to protect local green areas of special importance to local communities. This enables communities, in particular circumstances, to identify and protect areas that are of value to them through local and neighbourhood plans.
LVIA	Landscape Visual Impact Assessment. A Procedure set out in the Landscape Institute's guidance for assessing landscape value
NCA	National Character Area: is a natural subdivision of England based on a combination of landscape, biodiversity, geodiversity and economic activity. There are 159 National Character Areas and they follow natural, rather than administrative, boundaries. They are defined by Natural England, the UK government's advisors on the natural environment.
NPPF	National Planning Policy Framework. The NPPF sets out the Government's planning policies for England and how these are expected to be applied at the local level
PROW	Public Rights of Way. A public right of way is a right by which the public can pass along linear routes over land at all times. Although the land may be owned by a private individual, the public have a legal right across that land along a specific route.
SEA	Strategic Environmental Assessment. Strategic environmental assessment consists of a range of analytical and participatory approaches that aim to integrate environmental considerations into policies, plans and programmes and evaluate the inter-linkages with economic and social considerations
SPB	Settlement Policy Boundary. Boundary surrounding a settlement which separates the main built-up area from the open countryside.
SPD	Supplementary Planning Document. A non-statutory document that can form part of the local development framework. SPDs cover a wide range of issues giving detailed guidance how policies or proposals in development plan documents will be implemented.
Strategic Gap: (Local Gap)	Strategic Gap Areas between towns and villages that have been defined to prevent the coalescence of settlements. The council and local community attach great importance to the function of these areas as a means of maintaining individual settlement identity.
SUDS	Sustainable Urban Drainage Systems. The term Sustainable Urban Drainage Systems covers the range of drainage elements for managing surface water in a way which is more sympathetic to the natural and human environment than conventional below-ground drainage systems.
TPO	Tree Preservation Order. an order made by a local planning authority in England to protect specific trees, groups of trees or woodlands in the interests of amenity. An Order prohibits the: cutting down. topping. Lopping without appropriate permission
VDS	Village Design Statement: Village design statement is a term of English rural planning practice. A VDS is a document that describes the distinctive characteristics of the locality, and provides design guidance to influence future development and improve the physical qualities of the area. Cliddesden Village Design Statement was produced in 2004

References

Reference Document	Location/weblink
Amendment 10 to the Environment Bill on Light Pollution	Environment Bill
Basingstoke and Deane Adopted Local Plan	Basingstoke and Deane Adopted Local Plan
Basingstoke and Deane Adopted Local Plan Policy Map/settlement boundary	Basingstoke and Deane Adopted Local Plan Policy Map/settlement boundary
Basingstoke and Deane Local Plan Review	Basingstoke and Deane Local Plan Review
Basingstoke and Deane Issues and Options consultation	Basingstoke and Deane Issues and Options consultation
B&DBC Residential Parking Standards (SPD07)	B&DBC Residential Parking Standards (SPD07)
Basingstoke & Deane Living Landscape 2014	Basingstoke & Deane Living Landscape 2014
Basingstoke & Deane, The Horizon 2050 vision	Basingstoke & Deane, The Horizon 2050 vision
BDBC Heritage Supplementary Planning Document (2019)	BDBC Heritage Supplementary Planning Document (2019)
Basingstoke and Deane Call for sites	Basingstoke and Deane Call for sites
Basingstoke and Deane Green Infrastructure Strategy	Basingstoke and Deane Green Infrastructure Strategy
Basingstoke and Deane Housing Allocation Policy and Scheme	Basingstoke and Deane Housing Allocation Policy and Scheme
Basingstoke and Deane Housing SPD	Basingstoke and Deane Housing SPD
B&DBC Design and Sustainability SPD	B&DBC Design and Sustainability SPD
Basingstoke and Deane Landscape Biodiversity and Trees SPD	Basingstoke and Deane Landscape Biodiversity and Trees SPD
Basingstoke and Deane Landscape Character Assessment May 2021	Basingstoke and Deane Landscape Character Assessment May 2021
Basingstoke and Deane planning applications portal	Basingstoke and Deane planning applications portal
Basingstoke and Deane Strategic Gaps Topic Paper, October 2014	Basingstoke and Deane Strategic Gaps Topic Paper, October 2014
Census 2011 data	Census 2011
Cliddesden Conservation Area Assessment 2003	Cliddesden Conservation Area Assessment 2003
Cliddesden NP Position statement	Cliddesden NP Position statement
Cliddesden Village Design Statement (adopted by B&DBC 2004)	Cliddesden Village Design Statement
Cliddesden Design Code AECOM	Cliddesden Design Code AECOM
Cliddesden Background and evidence papers to the Neighbourhood Plan	Cliddesden Background and evidence papers to the Neighbourhood Plan
Community Consultation results Cliddesden NP	Community Consultation results Cliddesden NP

CPRE guide to Quiet Lanes.	CPRE guide to Quiet Lanes
CPRE publication Landscape Issues in Your Neighbourhood Plan	CPRE publication Landscape Issues in Your Neighbourhood Plan
Hampshire Biodiversity Information Centre Survey Reports	Hampshire Biodiversity Information Centre Survey Reports
Hampshire Integrated Character Assessment 2012	Hampshire Integrated Character Assessment 2012
Hedgerows Regulations 1997	Hedgerows Regulations 1997
Historic England National Heritage List for England	Historic England National Heritage List for England
Natural England - Green Infrastructure Valuation Tools Assessment 2013	Natural England - Green Infrastructure Valuation Tools Assessment 2013
Natural England – Map of the Hampshire Downs	Natural England – Map of the Hampshire Downs
Section 102 of the Clean Neighbourhoods and Environment Act (2005)	Section 102 of the Clean Neighbourhoods and Environment Act (2005)
The Institute of Lighting Professionals Guidance Note 1 for the reduction of obtrusive light 2021	The Institute of Lighting Professionals Guidance Note 1 for the reduction of obtrusive light 2021
Tract of Land to the South East of Basingstoke Valued Landscape, report by CPRE Hampshire	Tract of Land to the South East of Basingstoke Valued Landscape, report by CPRE Hampshire
Upper Swallick concept document	Upper Swallick concept document
Woodland Trust - Impacts of nearby development on the ecology of ancient woodland	Woodland Trust - Impacts of nearby development on the ecology of ancient woodland

Appendix A

Cliddesden Design Code

Updated April 2024

Quality information

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Revision History

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5	17/07/20	Reviewed by Locality	John Wilkinson Locality	Neighbourhood Planning Officer
4	30/03/20 30/06/20	Revision and approval of final document	Kathryn Whitmore AECOM	Associate Director
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1. Introduction

AECOM has been commissioned to provide design support to Cliddesden Parish Council through the Ministry of Housing, Communities and Local Government (MHCLG) funded Neighbourhood Planning Programme, led by Locality.

This Design Code has been produced to inform new development proposed in the area. It presents a summary of the key characteristics of the Cliddesden Neighbourhood Plan Area, which make this a special place to live and visit. This information is then used to inform specific design codes to promote sustainable development.

The approach set out here is supported by the National Planning Policy Framework (NPPF), which encourages local authorities to consider using design codes to help deliver high quality outcomes for new development. It is important however, that guidance finds the balance between promoting and reinforcing local distinctiveness and allowing for innovation and originality. The NPPF suggests that 'design policies should be developed with local communities so they reflect local aspirations and are grounded in an understanding and evaluation of each area's defining characteristics' (NPPF, 2019).

The NPPF also emphasises that 'the creation of high-quality buildings and places is fundamental to what the planning and development process should achieve. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities' (NPPF, 2019). It is therefore important that planning policies and decisions should address the connection between people and places and how any new development will respond to and integrate successfully into the natural, built and historic environment.

1.1 Objectives

The main objective of this document is to establish principles so that new development is designed and planned with regard to the existing character and context of the Cliddesden Neighbourhood Plan Area within the Neighbourhood Plan. It sets out a series of design codes related to new development.

This document is not intended to replace any existing Local Planning Policies, documents or guidance. Other documents that should be consulted when considering new development include (but are not limited to): the Borough's Local Plan and SPDs/SPGs, such as the Conservation Area Appraisal for Cliddesden (2003), the Design and Sustainability SPD (2018), the Cliddesden Village Design Statement (2004) and the Landscape, Biodiversity and Trees SPD (2018)¹.

The document provides context to the design codes, including strategic issues identified during consultations carried out by the Cliddesden Neighbourhood Plan Group, which is made up of volunteers including Parish Council members. The aspirations of the communities involved, although not strictly design issues, need to be considered in the context of any design proposal.

The document identifies key characteristics of the Cliddesden Neighbourhood Plan Area, including the identification of distinct character areas with the Plan Area and how their form, layout and detailing gives each a unique character. These key characteristics have informed the site-wide design codes contained in this document, as well as some specific design codes for each of the character areas.

1.2 Process

- Initial meeting with members of the Cliddesden Parish Council and site visit;
- Further site visits, character assessment and urban design analysis;
- Preparation of a draft report and review by Cliddesden Parish Council and Basingstoke and Deane Borough Council officers;
- Revision of the document to take on board comments, review by Locality and issue of final report.



Well House



2. Context



0 0.5 1 2 Kilometers

- Neighbourhood Plan Boundary
- National Cycle Route 23 (to Reading and Southampton)
- Public Rights of Way (Paths, Bridleways and Byways)

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Figure 1 Neighbourhood Plan Area

2.1 Location and area of study

The Cliddesden Neighbourhood Plan Area is located in north-east Hampshire, within the Borough of Basingstoke and Deane. It is located to the south of the M3. The total area of the Cliddesden Neighbourhood Plan Area is approximately 454 ha and, according to the census 2011, the population is 497. The small settlement of Cliddesden lies in the north-west of the study area.

The north-west boundary of the Neighbourhood Plan Area is defined by the M3 motorway, which separates densely developed Basingstoke to the north from small villages and hamlets scattered across the countryside south of the M3. Cliddesden is surrounded by arable and pasture fields interspersed with shelter belts and woodland blocks. Audley's Wood surrounds the 19th century mansion house, which is currently used as a hotel. The Neighbourhood Plan Area is bordered to the east by Hackwood Park, itself a registered park with Hackwood House, a Grade II* listed building. Immediately to the south of the Neighbourhood Plan Area lies Biodiversity Opportunity Area 43, Herriard Wooded Downland Plateau.

Cliddesden is connected to the west of Basingstoke by Woods Lane, and to the east by the B3046. The B3046 links to the A339, which connects Cliddesden with Alton to the south. The M3 along the north-west boundary of the Neighbourhood Plan Area provides a long distance west - east link from Southampton to London. Junction 6 is the nearest junction, providing access into Basingstoke along the A339. National Cycle Route 23 runs through the Neighbourhood Plan Area, connecting the area to Basingstoke and Reading to the north, and Winchester and Southampton to the south.

The nearest railway station is in Basingstoke, with services to the south and west towards Exeter and Portsmouth and to the east towards London.

2.2 Historical development

The timeline below provides a summary of the historical development of the Neighbourhood Plan Area, the settlement Cliddesden and the hamlet of Swallick Farm.

Neolithic: The first known habitation in Cliddesden was located in the Swallick area, where evidence of a Neolithic flint works has been discovered. Today Swallick Farm and Swallick Farm Cottages are situated in this area.

1086: The name Cliddesden derives from the Old English word 'Clyde' and 'Denu' that means 'valley of the rock' or 'rocky hill'. At the time of the Domesday survey, the manor of Cliddesden was held by Durand de Gloucestre and Cliddesden was named Cleresden.

12th century: The Church of St. Leonard (Grade II listed) dates to the 12th century, although it was restored and altered in the 19th century. The church was, and remains, located on the eastern edge of the settlement.

14th century: The manor was associated with various families until the 14th century when the manor came into ownership of the Wallop family.

1743: The title Earl of Portsmouth was created for John Wallop in 1743. The Wallop family have had a significant influence on the history and development of the settlement and owned several properties in the village.

19th century: Increasing wealth in the 19th century resulted in considerable development in Cliddesden. During the 19th century, the church was substantially restored and extended. A lot of properties in the village were also altered during that period with changes including brick infill into timber frame cottages.

1876: There had been a school in the village since 1656 however that was replaced with the current school in 1876. The school sits to the south of the village, just outside the parish and outside the Neighbourhood Plan Area.

1880: Audley's Wood (Grade II Listed), a country house to the north-east of the village was constructed c. 1880. The house is now a hotel.

1901: The Basingstoke and Alton Light Railway opened in 1901. The line first closed in 1916 and then subsequently reopened and closed again in 1924 with the track remaining in situ. The opening of the station in the early 20th century resulted in the construction of a number of houses along Station Road to house railway workers, including a house for the Station Master, which has been extended significantly over time and is now an imposing residence.

1904-06: The Wesleyan Methodist Chapel was established in Cliddesden in 1904-9. It was moved from Basingstoke and re-erected in the village.

1903-1912: The semi-detached properties at the northern end of Farleigh Road were constructed in the early 20th century.

1914-19: After the First World War, large plots to the southern side of Hackwood Lane were gifted to returning servicemen in order to provide them with some income and to help them become self-sufficient. The plots were developed with housing in later years.

1940-45: Following the Second World War, a number of houses were built in Woods Lane, following the linear pattern of the road.

1971-74: The construction of the M3 separated Cliddesden and Basingstoke.

1981: Cliddesden Conservation Area is designated.

1999: Cliddesden Millennium Village Hall opened in 1999. The land was bought from Lord Portsmouth for £1, and was constructed with a contribution from the National Lottery Millennium Fund.

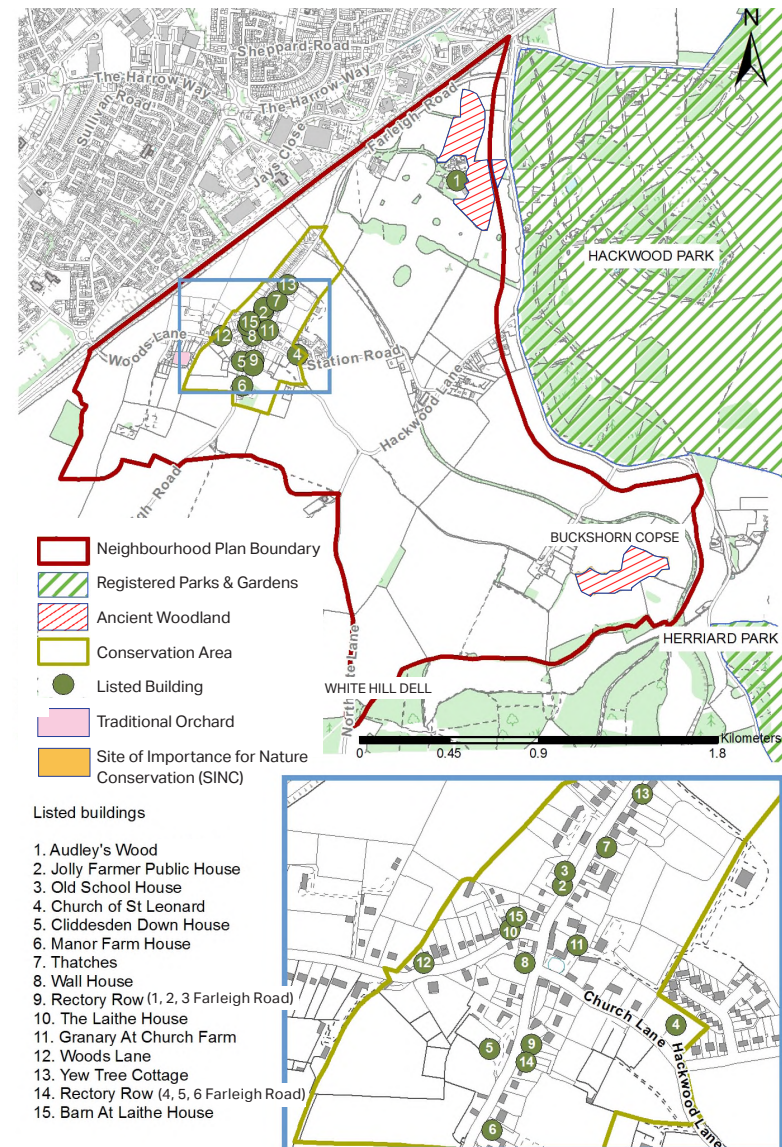
2.3 Landscape, Ecology and Heritage designations

The Neighbourhood Plan Area sits within a wider countryside setting, which contains a wealth of landscape, ecology and heritage features. Statutory and non-statutory landscape and heritage designations within the Cliddesden Neighbourhood Plan Area include:

- The Cliddesden Conservation Area, designated in 1981 by Basingstoke and Deane Borough Council to recognise special architectural heritage, and to manage and protect this special architectural and historic interest of the centre of the village.
- 15 listings (covering 19 buildings), of which most are located within the conservation area, with the exception of Audley's Wood (Grade II), which is located to the north-east of the village.
- There are two Ancient Woodlands – Audley's Wood, located in the north-east of the Neighbourhood Plan Area, surrounding the historic house; and Buckshorn Copse in the south-east of the Plan Area.

Although Hackwood Park (Grade I Registered Park and Garden) is located outside the Cliddesden Neighbourhood Plan Area it is a locally important designated historic landscape and the main house is present in long distance views across the area. Hackwood Park encompasses more than 30 Grade II listed buildings and structures as well as three Grade II* listed buildings including Hackwood House.

Ancient Woodland can be found at Buckshorn Copse in the south-east of the Neighbourhood Plan Area, whilst Ancient Replanted Woodland and Priority Deciduous Woodland Habitats can be found around Audley's Wood to the north-east. Woodpasture and Parkland (BAP Priority Habitat) can also be found around Audley's Wood, whilst at White Hill Dell to the south-west of the Plan Area there is a small pocket of Priority Deciduous Woodland at the disused pit, which connects with other Priority Woodlands and Ancient Woodlands beyond the Plan Area. A Traditional Orchard (Priority Habitat Inventory) can be found to the rear of properties south of Woods Lane and east of Cleresden Rise.



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Figure 2 Landscape and Heritage Designations

2.4 Strategic Issues/ Public Consultation

Members of the local community and local interest groups were invited to share their knowledge and experience of the Neighbourhood Plan Area at an Open Day in November 2018, and through a questionnaire shared in May 2019. Several key considerations and strategic issues emerged through discussions with the public, which have informed the preparation of this Design Code:

Existing character

- Cliddesden contains a wide variety of buildings, places and spaces which contribute to its unique character.
- Cliddesden retains a rural character, despite its proximity to Basingstoke, and this should be protected.
- Large mature trees can be found throughout the village, with most protected by the Conservation Area designation.
- Countryside views from within the built-up area of the village are characteristic.
- Easy access to the wider countryside is valued by local people.
- Access to shops and amenities is limited.

New development

- New development should be 'in keeping' with rural character and follow the existing linear 'one-plot-deep' settlement pattern.
- Building styles should reflect local character, scale and building materials.
- 'Green fingers' of countryside that characterise the village should be retained.
- A designated "local gap" to prevent coalescence with the urban expansion of Basingstoke should be considered.
- To retain village character, backfill development should not occur.
- Parking for new developments must be adequate and not force cars onto road.
- New developments should meet the incremental housing numbers and timescales set out in Policy SS5 of the Local Plan². Developments proposing housing numbers that exceed the numbers set out in Policy SS5 should be resisted.

²Basingstoke and Deane Borough Council Local Plan 2011-2029 states that "At least ten homes will be delivered primarily within or adjacent to settlements with defined Settlement Policy Boundaries...". Cliddesden is named as one of these settlements. www.basingstoke.gov.uk/planning-policy-and-local-plan

- New housing should be limited to small size houses (1, 2 or 3 bedrooms).
- New development should make provision for planting of large tree species.
- Trees, hedges and woodlands should not be damaged by development.
- Light pollution should be minimised to protect dark skies.

In addition, draft pages from the Design Code were presented at the Village Assembly in May 2019, to give local people a chance to provide feedback. No written feedback was provided by the public, but many expressed support for the Design Code.



Consultation Event November 2018



Former Methodist Chapel

3 Character Assessment

3.1 Introduction

This section outlines the broad physical, historical and contextual characteristics of the Cliddesden Neighbourhood Plan Area. Character assessment is used to describe and articulate what is special and distinctive about a place. It is used to identify recognisable patterns of elements or characteristics that make one place different from another. This Design Code focuses on the character of the village centre, whilst also describing the rural landscape within which it sits. The features introduced in this section are later used to inform design codes.

3.2 Existing character assessments and design guidance

This report is also informed by a number of other studies relevant to the local area as follows:

- *Basingstoke & Deane Landscape Assessment, 2001;*
- *Cliddesden Conservation Area Appraisal, 2003;*
- *Basingstoke & Deane Landscape, Biodiversity and Trees SPD, 2018;*
- *Basingstoke & Deane Design and Sustainability SPD, 2018;*
- *Basingstoke & Deane LDF Countryside Design Summary (Appendix 14), 2008;*
- *Cliddesden Village Design Statement, 2004.*

3.3 Area-wide Character Assessment

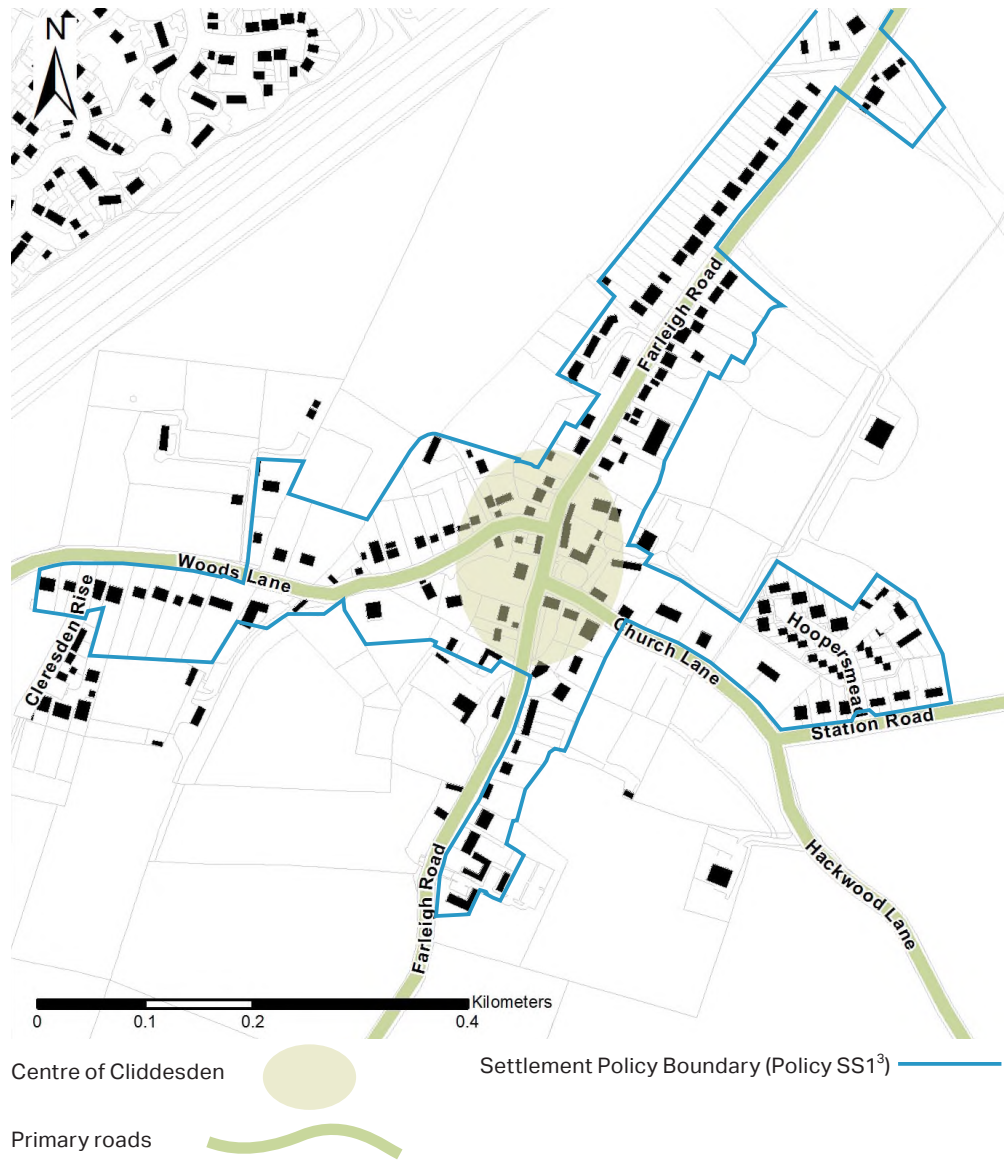
3.3.1 Settlement Pattern

The pattern of settlement in the Neighbourhood Plan Area has developed over thousands of years, with the first known inhabitants of the area settling in the Swallick Farm area in Neolithic times. Cliddesden evolved from the estate of the Manor of Cliddesden, noted in the Domesday Book, and by 12th century St. Leonard's Church had been constructed. The 19th century saw the most rapid expansion in the settlement of Cliddesden, and since then the village has continued to expand. Outlying development at Station Road came with the railway in 1901, and plots at Hackwood Lane were gifted to returning soldiers following the end of the First World War.

Cliddesden's village core is centered around the pond where Woods Lane, Church Lane and Farleigh Road converge. However, whilst the origins of the settlement lie at this nucleus, development has spread along each of the converging streets, resulting in a much more linear character over time. Development rarely extends beyond the first row of plots aligning streets, and this 'one-plot-deep' character contributes to the rural character of the village, as there are views out to fields from most parts of the village.

Many parts of the Neighbourhood Plan Area have an overarching sense of enclosure, created by high hedges, sunken lanes and banks aligning the road, such as at Woods Lane, Church Lane and along roads in the south of the area. Within the village, the southern part of Farleigh Road is enclosed with high boundary walls, fences and building edges on one side, with a more open character on the other. As you move away from the centre of the village, the sense of enclosure and density of development reduces, and buildings more often line one side of the road, such as along Farleigh Road and Church Lane.

Infill and farms have multiplied the depth of development on the edges of the settlement, for example at Hoopersmead and Cleresden Rise, but this is uncharacteristic and in more recent developments has had a negative impact upon the linear character of the settlement.



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Figure 3 Village Settlement Pattern



Manor Farm Offices



Looking east along Station Road



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Figure 4 'Green Fingers' and Village Views

3.3.2 'Green Fingers'

A key characteristic of the settlement pattern of the village of Cliddesden is its connection to the surrounding countryside. There are many 'green fingers' of arable land and paddocks that surround the village, enhancing its rural character and ensuring that even within the village centre there are views to the fields beyond.

Although Cliddesden sits in the folds of the valley, there is a sense of openness and extent provided by views across the 'green fingers'. This is a unique characteristic, which enhances the rural character of Cliddesden.

The influence of the 'green fingers' on individual character areas is described further in Sections 3.4 and 3.5.



View of 'green finger' at Farleigh Meadow, looking east from the northern section of Farleigh Road.

3.3.3 Building typology

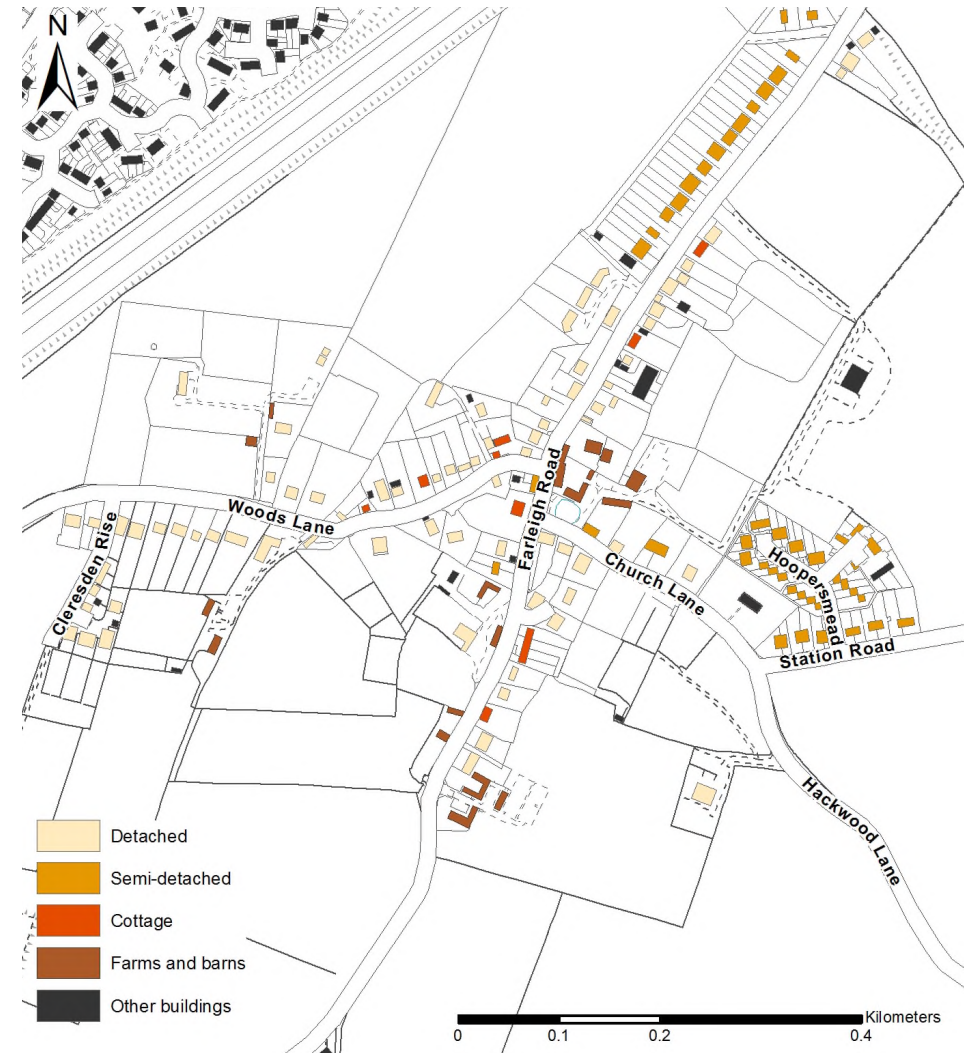


Jolly Farmer public house

Cliddesden comprises a range of different types of buildings. Detached houses are the most common across the village. Semi-detached houses create two clusters of more recent development along Station Road and the northern section of Farleigh Road. Dispersed working farm buildings and converted barns strengthen the rural character of the area.

Rolling topography often determines the elevation of buildings in relation to the street. Buildings located on higher ground are linked with the street by steep banks, steps and handrails. This type of setting contributes to the enclosed, small-scale character of Cliddesden.

Cliddesden comprises primarily residential land use, complemented by commercial and business units. Manor Farm and Black Barn have been converted into office developments. The Village Hall and The Jolly Farmer public house are important community hubs.



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Figure 5 Building Typology

3.3.4 Architectural Details & Materials

Cliddesden comprises examples of vernacular building materials such as timber-frame, mellow red brick and knapped flint, characteristic to this part of Hampshire. Red brick is dominant in the village, in both historic and more recent developments. Flint is present on facades of St. Leonard's Church, the former chapel and as decoration to brickwork on other buildings. Traditional lime render covers façades of cottages but light colour render is also a popular finish of recent buildings. A number of black and unfinished weatherboard barns have been converted to office spaces, retaining and enhancing the rural character of the village. Long straw thatch and clay tiles are characteristic roof materials of the area, contributing to the historic and rural character. Slate tiles also sit comfortably within the historic context of the village. Concrete tiles and imitation slate have appeared on more recent developments, but do not complement the rural context of Cliddesden.

A limited palette of materials has been used in the public realm of new developments, and has largely been restricted to asphalt roads and pavements and ornamental shrubs and hedges. There is an opportunity for new developments to create a new palette of public realm materials inspired by local examples. This is explored further in the Design Codes section of this report.

3.3.5 Building Line and Boundary Treatments

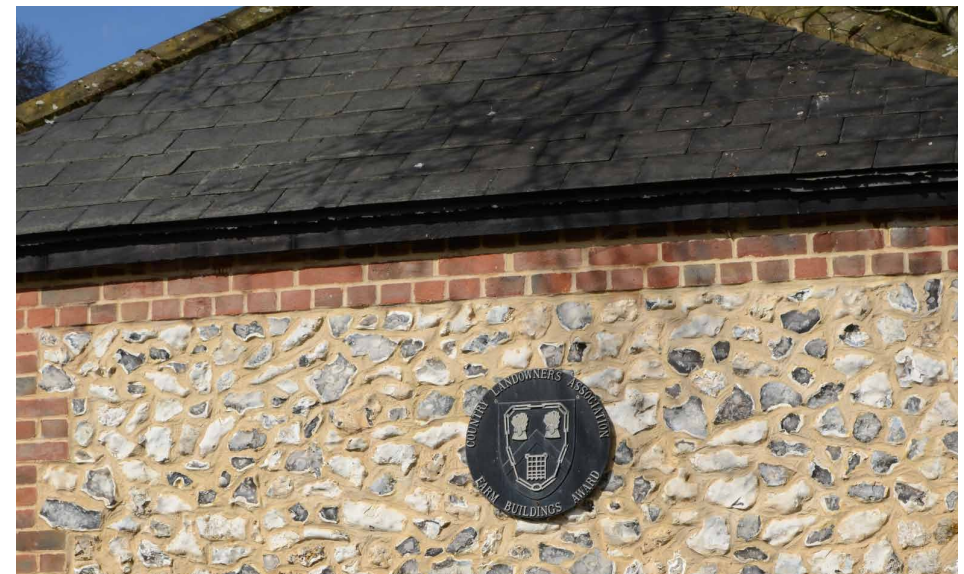
Building lines vary across the Neighbourhood Plan Area and even within the village of Cliddesden. However, most dwellings benefit from deep front gardens, which allows space for hedge and tree planting, which adds to the verdant character of the settlement. Boundary treatments across the Plan Area are composed of traditional materials such as red brick, flint and timber post and rail fencing. Close boarding fencing has appeared in some areas, compromising landscape character.

3.3.6 Green Infrastructure and Open Space

The Neighbourhood Plan Area benefits from a pattern of historic hedgerows and woodland, which are prevalent across the area, but especially so in the south, where large areas of woodland and some plantations can be found. The disused railway line also creates a large vegetated swathe running north/south through the Plan Area. The settlement of Cliddesden benefits from a framework of mature trees and hedgerow boundaries, which contribute to its rural character.



Community facilities at the Pond



Award winning new building with traditional materials

3.3.7 Parking & Utilities

Dedicated car parking provision is limited to a handful of parking spaces next to the pond and the car park behind The Jolly Farmer public house. There is some on-street parking, primarily along the northern section of Farleigh Road, but most parking within the settlement is on-plot. The exception to this is in Hoopersmead, where limited on-plot parking has resulted in ad hoc parking along pavements, restricting pedestrian access. Some new developments, such as the converted barn office development in the centre of the village, offer rear courtyard parking which appears to be an appropriate approach where direct access from the street is unavailable.

The centre of Cliddesden village benefits from mains water, sewage and energy supplies, but septic tanks and fuel tanks are more common in the wider Plan Area. Where these do exist they are well screened by the landscape framework, reducing their visual impact.

3.3.8 Footpaths and Rights of Way

A network of public rights of way provides access to the surrounding countryside and towards Basingstoke. National Cycle Route 23 connects Cliddesden with Basingstoke and Reading to the north and goes as far as the Isle of Wight in the south.

Within the village there are a number of narrow lanes offering connecting routes through the village, such as the one that connects Church Lane with the northern section of Farleigh Road. These offer pleasant walking routes that connect with the wider landscape.

3.3.9 Views and Landmarks

Due to the undulating topography of the Plan Area, there are expansive views from a number of locations around the settlement of Cliddesden.

There are open views along Station Road towards Basingstoke to the north, and to open countryside to the south. The Byway running north/south between Hackwood Lane and Swallick Farm has views across Basingstoke and towards Hackwood House, which is a key landmark. Other key landmarks outside of the village include the Railway Cottages, the old Station Master's House on Station Road, and the school, which sits just outside the Plan Area boundary.

Views are more restricted in the southern part of the Plan Area due to the network of hedgerows and woodland/plantation. Sunken lanes with hedgerows on both sides also restrict views in this area. Within the village key landmarks include St. Leonard's Church and the pond.

The 'one-plot-deep' settlement pattern and 'green fingers' result in views of open countryside from almost all areas of the village. This is a unique characteristic that enhances the rural character of Cliddesden. Key village views are shown in Figure 4.



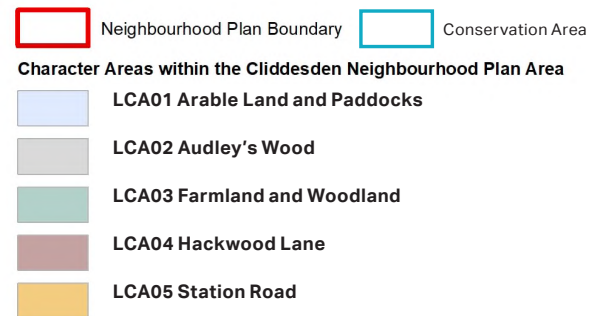
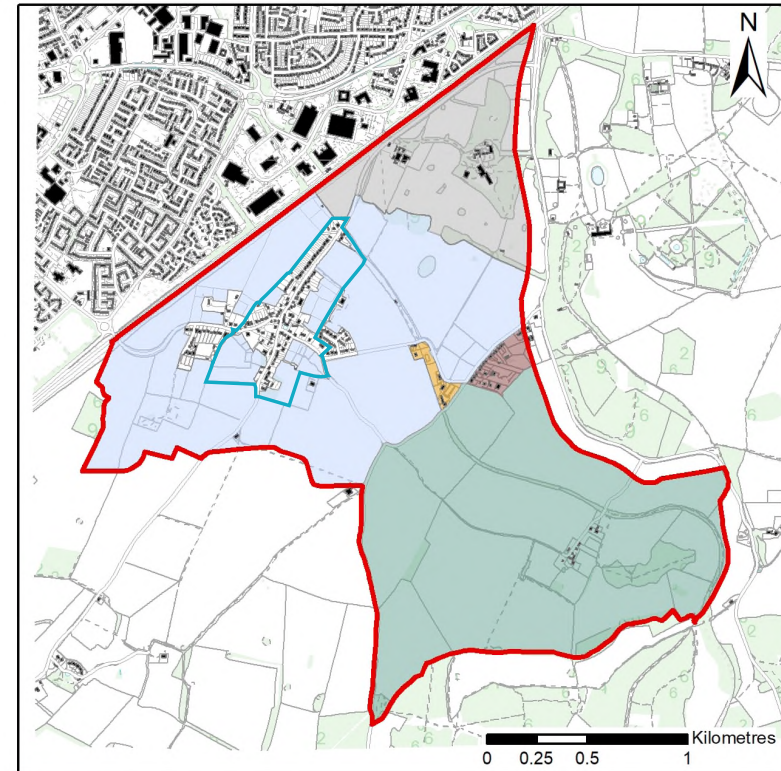
Views towards Basingstoke from Station Road



Byway from Hackwood Lane to Swallick Farm

3.4 Character Areas within the Neighbourhood Plan Area

Five broad character areas have been identified within the Neighbourhood Plan Area, as shown in Figure 6. In addition, five distinct character areas have been identified within the settlement of Cliddesden (Figure 7). These character areas were identified through desk study and field work undertaken for the purposes of this document, and each of the character areas is described below.



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Figure 6 Character Areas within the Cliddesden Neighbourhood Plan Area

3.4.1 LCA01 Arable Land and Paddocks

This area is characterised by gently sloping fields that rise away from the village of Cliddesden, which sits in a valley. They comprise a combination of arable fields and fields used for the keeping of horses. Some contain paraphernalia associated with equestrian use. Larger fields sit at a high point at Station Road, and have sweeping views of the surrounding countryside and views of Basingstoke's high-rise developments. Built form is limited to some traditional brick and slate outbuildings and barns of modern construction. This character area is important to the overall character of the village, as the 'green fingers' that bring the countryside right into the heart of the village are all part of this character area. These 'green fingers' heavily influence the rural character of the village and should be protected.

3.4.2 LCA02 Audley's Wood

The woodland surrounding Audley's Wood house (now a hotel) is dense and distinctive. It comprises native broadleaved woodland, with some ornamentals and specimen trees closer to the house. There are small paddocks contained within this character area, but they do not break-up the overall dense woodland characteristic. Built form is limited to Audley's Wood, a collection of industrial units, and a large house at Pensdell Farm on the B3046. Audley's Wood is red brick with a slate roof and decorative clay tiles and the large house on the B3046 is red brick with clay roof tiles.

3.4.3 LCA03 Farmland and Woodland

This character area sits on more steeply rising land to the south. Fields have strong hedgerow boundaries with trees, which limit views into and out of the area. Large blocks of deciduous woodland and plantation are also typical. Footpaths and roads through this area sit in sunken lanes, with high hedges or dense woodland on each side. The landscape is much more enclosed than the arable fields and paddocks to the north. The Neolithic habitation of Swallick sits within this character area, which today encompasses Swallick Farm and Swallick Farm Cottages, whose buildings are red brick and flint with slate roof.

3.4.4 LCA04 Hackwood Lane

This is a small character area, but one with a very distinct character. The history of Hackwood Lane, which is covered in Section 2.2, has resulted in a street of detached houses set in large plots, all to the south of Hackwood Lane, with views over open fields to the north. Hackwood Lane is a narrow single track lane with tall hedgerows that contribute

to the rural feel. Properties along Hackwood Lane are predominantly bungalows/dormer bungalows, well set back from the road, but some have been extended/replaced with two storey houses. In addition, Greenlands nursery sits behind the long plots of several houses. Hackwood Lane displays the area-wide 'one-plot-deep' characteristic, which maintains views to the surrounding countryside. Housing density here is very low, approx. 8dph⁴, which is similar to LCA10 Woods Lane.

3.4.5 LCA05 Station Road

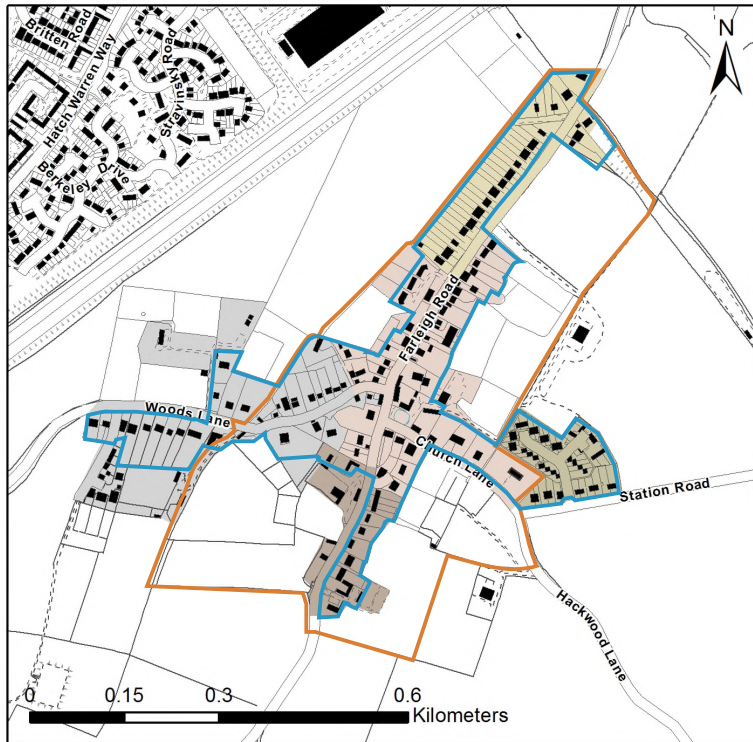
The construction of the railway line brought with it railway houses. This character area runs alongside the disused railway line, and comprises two groups of terraced houses, one that dates to the construction of the railway and one from the early 2000s that replaced an earlier single-storey building. These buildings are red brick with hipped and open-gable slate roofs, and like many in the Neighbourhood Plan their layout exhibits the area-wide 'one-plot-deep' characteristic, preserving views across the countryside.



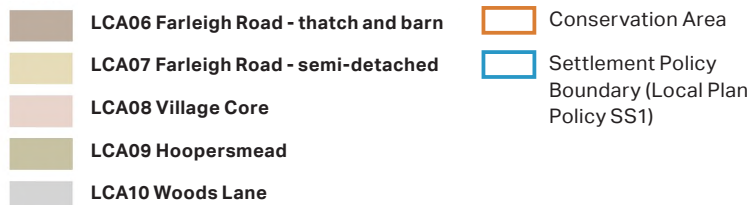
Audley's Wood Hotel

3.5 Character Areas within the village of Cliddesden

There are five distinct character areas within the settlement of Cliddesden, which reflect the variety of building pattern, layout and style that can be found. These are described below.



Village Character Areas



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Figure 7 Cliddesden Village Character Areas

3.5.1 LCA06 Farleigh Road - thatch and barn



This LCA falls within the Conservation Area and includes four listed buildings and a number of notable buildings and structures. The area is characterised by buildings of various architectural styles and materials, with historic buildings dating from the 16th to the 19th century. There are several cottages, constructed with timber frame filled with brick, with thatched roofs, which contribute to the historic character of the village. More recent buildings are made of red brick with less architectural detailing and concrete roof tiles. Half-hipped roof forms unite buildings of all ages and are a distinctive feature across the character area. Buildings are a maximum of 2 storeys high, and are typically detached, although there are some historic short terraces. Housing density is very low (approx. 12dph).

Farm buildings illustrate the agricultural history of the village and the Manor Farm office development has successfully converted existing buildings, retaining the character of the original farm buildings. It has preserved traditional materials, such as black timber boarding, and has used sympathetic boundary treatments.

Boundary treatments include hedges, high walls and some close-boarded fencing, which is less sympathetic to local character. Buildings are mostly set back with front gardens and mature trees, contributing to the rural character of the LCA. The transition from open landscape into the enclosed settlement creates a distinctive gateway into the village.

3.5.2 LCA07 Farleigh Road- semi-detached



This LCA falls within the Cliddesden Conservation Area. A row of semi-detached houses built along the northern section of Farleigh Road at the turn of the 20th century defines the character. These houses were a planned linear development, built by Wallis and Steevens of Basingstoke in 1903 to house their staff. A belt of mature trees marking the alignment of the historic railway line creates a key gateway at the entrance to the village further north.

Houses are set on an earth bank, responding to the topography of the area, with pedestrian access from shared footpaths to the front door. Built on a formal layout, facing the open countryside, the houses follow a continuous building line with generous front and rear gardens. The buildings are two storeys, constructed of brick with low-pitched slate roofs. The uniform design and regular layout of the development is different to the diversified historic part of the village and has a more suburban character. This area has a housing density of approx. 15dph, which is higher than the Village Core, but this is tempered by the open fields to the east, which ensure this area retains a rural character.

This character area exhibits the area-wide 'one-plot-deep' character, which enables views between buildings to the countryside beyond. It is also heavily influenced by 'green fingers' from the LCA01 Arable Farmland Character Area, notably Farleigh Meadow to the east. These 'green fingers' are fundamental to this area's character.

3.5.3 LCA08 Village Core



Four roads converge at the pond in the Village Core character area, marking the centre of the village. This nucleated pattern has been retained through the years and is important for the historic character of Cliddesden. Roads here are narrow and winding, which strengthens its character as a small settlement. Buildings are mainly of two storeys, set within spacious sites, some set back from the road and some directly on it, which creates a varied streetscape. This LCA falls within the Cliddesden Conservation Area and includes five listed buildings.

The styles and ages of buildings vary, red brick, flint and black weatherboard are predominant materials. The survival of barns that have now been converted, and thatched cottages contribute to the rural sense of place. There are several important buildings including St. Leonard's Church (Grade II listed) and the former chapel. The area near the pond and The Jolly Farmer public house are important community hubs.

Dense vegetation and the location of the village in the folds of the valley restrict long distance views. However, the 'one-plot-deep' character enables views towards the countryside from within the Village Core, as do the 'green fingers' which bring the countryside into the settlement and are heavily influential in defining the rural character of the village. Housing density here is approx. 12dph, similar to LCA06 Farleigh Road - thatch and barn.

3.5.4 LCA09 Hoopersmead



Semi-detached houses along Hoopersmead and Century Close were built between 1980 and the early 2000s. Buildings are set on small plots, mostly behind short front gardens, which are separated from the street by trimmed hedgerows. Bungalows are constructed of red brick with low pitched roofs covered by concrete tiles. Windows are predominantly uPVC, and doors have simple designs. The higher density (24dph) of development and formal layout creates a suburban character that is different to the rest of the village. The elevated setting of the development enables views towards St. Leonard's Church. However, the non-linear arrangement of this character area limits views to the countryside beyond.

This development pays little regard to the special qualities of the Neighbourhood Plan Area, particularly in terms of the uniformity of building style, street parking, pavements and lighting, which are at odds with local character. The development also fails to pick up on the architectural details and materials that are prevalent in other built form locally.

A distinctive row of 1960s semi-detached houses along Station Road also form part of this character area, and have a more suburban character, despite their rural outlook. Again, these houses pay little regard to the character of the settlement, and as such feel quite detached from the rest of the settlement.

3.5.5 LCA10 Woods Lane



Large detached houses built along Woods Lane create a distinctive character area in Cliddesden. Originally one plot deep, development has been extended by recent infill, which has adversely affected the character of this area. Individual houses are set on large plots with deep front and back gardens. The majority of Woods Lane is enclosed by mature trees and hedgerows, but there are one or two pockets of development with more open front boundaries.

A new development to the western end of Woods Lane, Cleresden Rise, which was built on a former commercial site, has a very different character. It is made up of a combination of detached and semi-detached houses, built at a much higher density than the rest of Woods Lane. Cleresden Rise is approximately 15dph, whilst Woods Lane is generally 8dph. However, its detailing does pick up on local materials and details including red brick, white render, hipped dormers and post and rail fencing.

Predominant materials in historic buildings are mellow brick, timber framing and thatched roofs with some use of knapped flint and render. Although houses along Woods Lane are large, they are set within spacious sites with mature trees and hedges along boundaries, which retains the rural sense of place.

The north-eastern part of Woods lane falls within the Cliddesden Conservation Area and includes four listed buildings.

3.6 Positive aspects of character - Area-wide Character

There are a number of positive aspects common to all character areas within Cliddesden, which should be retained, reinforced and enhanced.

Settlement Pattern

- Cliddesden's presiding 'one-plot-deep' linear form enhances its rural character, enabling views of the countryside from many locations within the village.
- The 'one-plot-deep' linear form is also found outside the village, and this enhances the rural character of the wider Plan Area.
- The key gateways at both ends of Farleigh Road emphasise the sense of arrival into Cliddesden.
- Lanes within the Plan Area have a sense of enclosure, created by high hedges, sunken lanes and banks, and in the Village Core by high walls.
- Cliddesden benefits from very low housing densities, approx. 8dph in Woods Lane and Hackwood Lane, and 12dph in the Village Core. Houses are set within large plots with trees, which contribute to rural character. Rural character has been eroded where housing densities are higher, e.g. at Hoopersmead (24dph).

Green Fingers

- Cliddesden's 'green fingers' bring the countryside right into the village, enhancing the rural character of Cliddesden and providing views of the countryside from many locations within the village.

Building Typology

- Residential Buildings are predominantly detached.
- Dispersed farm buildings strengthen the rural character of the Plan Area, and converted farm buildings reinforce the rural character of the village.

Architectural Details & Materials

- Vernacular materials and architectural detailing contribute to the historic character of Cliddesden and its surrounding area.
- Red brick, flint, traditional lime render and black weatherboard are the predominant materials found across the Plan Area.
- Long straw thatch and clay tiles are the predominant roof materials.

Building Line and Boundary Treatments

- Most residential properties benefit from front gardens, with hedges and tree planting that contributes to the verdant character of the Plan Area.
- Deep front gardens are common and contribute to the sense of space within the centre of the village.
- Boundaries are typically red brick, flint and timber post and rail, enhancing the rural character of the Plan Area.

Green Infrastructure and Open Space

- Mature trees and hedges contribute to the rural character of the village and the wider Neighbourhood Plan Area.
- Historic hedgerows and Ancient Woodlands contribute to the enclosed character of the wider landscape, especially in the south of the Plan Area.
- The disused railway line forms an important linear feature running north/south through the Plan Area.
- Open spaces within the village contribute to the character and appearance of the area, including the open area around the pond and the churchyard at St. Leonard's Church.
- 'Green fingers' bring the countryside right into the heart of the village, which is a defining characteristic.
- A traditional orchard (Priority Habitat) lies to the south of Woods Lane and is the last of its kind in the Plan Area.

Parking & Utilities

- Most parking in the Plan Area is on-plot, as a result of deep front gardens/building line setbacks and large plots.
- There is some on-street parking, but this is limited due to the narrow winding nature of lanes in the village.
- Rear courtyard parking has been utilised successfully in barn conversions, where direct access from the street is not possible.
- There is no formal street lighting within the Plan Area, with the exception of lighting in Hoopersmead. This lack of lighting contributes to the Plan Area's rural character.
- Where septic tanks are used these have been well-screened by vegetation.

Footpaths and Rights of Way

- Easy access to the countryside is aided by a strong network of footpaths, cycle routes, byways and bridleways.
- The lack of roadside footpaths along roads within the Plan Area contributes to the rural character.

Views and Landmarks

- Long-distance views are a key characteristic of the Plan Area.
- Short and long-distance view of the countryside are facilitated by the village's linear 'one-plot-deep' character and by the 'green fingers' of open farmland that break up the developed areas and sit right in the heart of the village.



Swallick Farm



Cliddesden Down House

3.7 Positive aspects of character - Character Areas

There are a number of positive aspects specific to individual character areas, which set them apart from others, and these aspects should be retained, reinforced and enhanced.

LCA01 Arable Land and Paddocks

- This character area is important to the overall character of the village, as the 'green fingers' that bring the countryside right into the heart of the village are all part of this character area. These 'green fingers' heavily influence the rural character of the village and should be protected.
- Traditional brick and slate barns and outbuildings are a key characteristic of this character area.

LCA02 Audley's Wood

- Dense woodland character unlike the open arable landscape found in most of the Plan Area.
- Red brick, clay tiles and slate roofs are the dominant materials.

LCA03 Farmland and Woodlands

- Strong hedgerow boundaries with trees are typical of this character area.
- Sunken lanes with high hedges add to the sense of enclosure.
- Red brick and flint are the dominant materials.

LCA04 Hackwood Lane

- Bungalows and dormer bungalows set in large individual plots are the dominant building typology in this character, which sets it apart from other character areas. Their low-rise character allows for long-distance views from vantage points around the Plan Area, as built form does not break the skyline.
- Housing density at Hackwood Lane is very low, at approx. 8dph.

LCA05 Station Road

- Short terraces of red brick houses are a unique characteristic of this area.
- Hipped and open gable slate roofs are the dominant style.

LCA06 Farleigh Road - thatch and barn

- Half-hipped roof forms unite a variety of architectural styles/eras.
- Long straw thatch and clay tile are the dominant roof materials.
- Traditional black weatherboarded barns have been converted into offices.
- Housing density here is very low, at approx. 12dph.

LCA07 Farleigh Road - semi-detached

- Deep front gardens with pedestrian only access from the road.
- Regular rhythm of built form.
- Housing density here is low, at approx. 15dph.

LCA08 Village Core

- Narrow and winding lanes run through the Village Core, converging at the pond.
- Narrow footpaths connect the centre with the outer edges of the settlement.
- Red brick, flint and black weatherboarding and long straw thatch are typical materials.
- Traditional black weatherboarded barns have been converted into offices.
- Housing density in the Village Core is very low, at approx. 12dph.

LCA09 Hoopersmead

- The layout and form of Hoopersmead is at odds with local landscape character, due to its street lighting, street parking and uniform building styles. However, it does benefit from short-distant views of local landmarks like the church.
- Housing density at Hoopersmead is the highest in the Plan Area, at approx. 24dph.

LCA10 Woods Lane

- Large individual plots are surrounded by mature trees and hedgerows, contributing to the sense of enclosure.
- Traditional boundary treatments have been used close to the centre of the village, including brick and flint walls.
- Housing density varies from approx. 8dph. along most of Woods Lane, to 15dph at Cleresden Rise.

3.8 Issues to be addressed in design codes

The following issues have been identified that should be addressed through the planning process. These principally relate to increasing development pressure in the Plan Area:

- New developments changing the small-scale character of the village.
- Backland/infill development damaging the linear 'one-plot-deep' character.
- Development on 'green fingers' changing the rural character of the village.
- New developments exceeding housing numbers and timescales set out in Policy SS5 of the Local Plan, resulting in large-scale new developments, rather than incremental increases in housing numbers.
- Speculative planning applications negatively impacting the character of the village (e.g. recent planning application for housing on Farleigh Road, rejected at appeal, which did not respect one-plot-deep character or 'green fingers').
- New development not providing housing sizes that meet local need (e.g. development of large detached 4 and 5 bedroom houses, rather than the small size 1, 2 or 3 bedroom houses the Plan Area needs).
- New developments introducing higher density housing that erodes the rural character of Cliddesden.
- New developments not respecting existing settlement layout of wide plots and provision of parking to the side of dwellings.
- Views to key landmarks could be altered by new development, which would change the open expansive character of the Plan Area.
- The use of modern building materials unsympathetic with the rural character of the Plan Area (e.g. close-boarded fencing; concrete or imitation slate tiles).
- Loss of Ancient and semi-natural woodland, trees and hedgerows, which are a key characteristic of the Plan Area.
- Retaining the verdant character of the Plan Area through protection and planting of large trees species.
- The use of cul-de-sacs in new developments could erode both the historic nucleated pattern and the linear character of the village.
- Roadside footpaths and parking in new developments could compromise the rural character of the Plan Area.
- Light pollution from new developments (e.g. street lighting, security lighting and upward illumination for skylights) could change the rural character.



Thatched cottage on Woods Lane

4. Design Codes

4.1 Introduction

This section provides design codes which set out expectations for new development across the Plan Area. It also highlights special qualities in individual character areas that should be taken into account when designing new development.

The design codes in this section should be applied as a starting point to all new development in the Neighbourhood Plan Area. These codes advocate character-led design which responds to and enhances the landscape and townscape character. Reference to context does not mean to copy or use pastiche solutions. It means responding to what is around as inspiration and it could be that a contemporary solution in harmony with its surroundings is as appropriate as one utilising traditional building materials and techniques.

It is important that full account is taken of the local context and that any new development responds to and enhances the “sense of place” and meets the aspirations of people already living in that area. The aim of this section is to produce design codes that help in assessing design quality and appropriateness in new development proposals. Images have been used to reflect good examples of local design quality.

The design codes are set out as ‘Area-wide Design Principles’ and ‘Character Area Specific Design Principles’ to ensure codes are adaptable to the unique characteristics of the Plan Area. Area-wide principles apply to entire Plan Area. Where new development comes forward in Character Areas that lie outside of the village or other residential areas (i.e. Hackwood Lane or Station Road) it should reflect the design principles of the adjacent Character Area. For example, if development came forward in LCA01 Arable Land and Paddocks, it should follow design principles applicable to the adjacent village Character Area. If development came forward in LCA01 Arable Land and Paddocks or LCA03 Farmland and Woodland that was adjacent to LCA04 Hackwood Lane or LCA05 Station Road it should follow design principles applicable to these adjacent areas.

The design codes developed in this document focus mainly on residential development, considering the character of the immediate neighbouring buildings and the townscape and landscape of the surrounding area. The local pattern of streets and spaces, building traditions, materials and the natural environment should all help to determine the character and identity of new development whilst recognising that new building technologies can deliver acceptable built forms and may sometimes be more relevant.

4.2 General Design Principles

Below are some general design principles against which new development proposals

should be evaluated. As an initial appraisal, there should be evidence that development proposals have considered and applied the following:

GDP1 - Harmonise with and enhance the existing settlement in terms of physical form, movement pattern and land use.

GDP2 - Avoid uniformity of design styles and layouts, which erode rural character

GDP3 - Relate well to local topography and landscape features, including prominent ridge lines and long-distance views.

GDP4 - Reflect the identity of Cliddesden as a discrete village settlement and maintain physical separation from Basingstoke urban development

GDP5 - Reinforce or enhance the established character of streets and other spaces

GDP6 - Integrate with existing paths, streets, circulation networks and patterns of activity.

GDP7 - Provide adequate open space for the development in terms of both quantity and quality.

GDP8 - Reflect, respect and reinforce local architecture and historic distinctiveness. Retain and incorporate important existing landscape and built form features into the development.

GDP9 - Respect surrounding buildings in terms of scale, height, form and massing

GDP10 - Adopt contextually appropriate materials and details.

GDP11 - Incorporate necessary services and drainage infrastructure without causing unacceptable harm to retained features.

GDP12 - Ensure all components e.g. buildings, landscapes, access routes, parking and open space are well related to each other; to provide a safe, attractive and cohesive environment.

GDP13 - Make enough provision for sustainable waste management (including facilities for kerbside collection, waste separation and minimisation where appropriate), energy needs, water provision and high speed broadband, without adverse impact on the street scene, the local landscape or the amenities of neighbours.

GDP14 - Sensitively integrate energy efficient technologies within the scheme at the start of the design process.

GDP15 - Provide adequate off street parking, preferably screened by planting, to reduce visual impact.

GDP16 - Minimise urbanising features such as close-boarded fencing, footpaths alongside roads and street/security lighting.

Design Code 01

Settlement Pattern & 'Green Fingers'

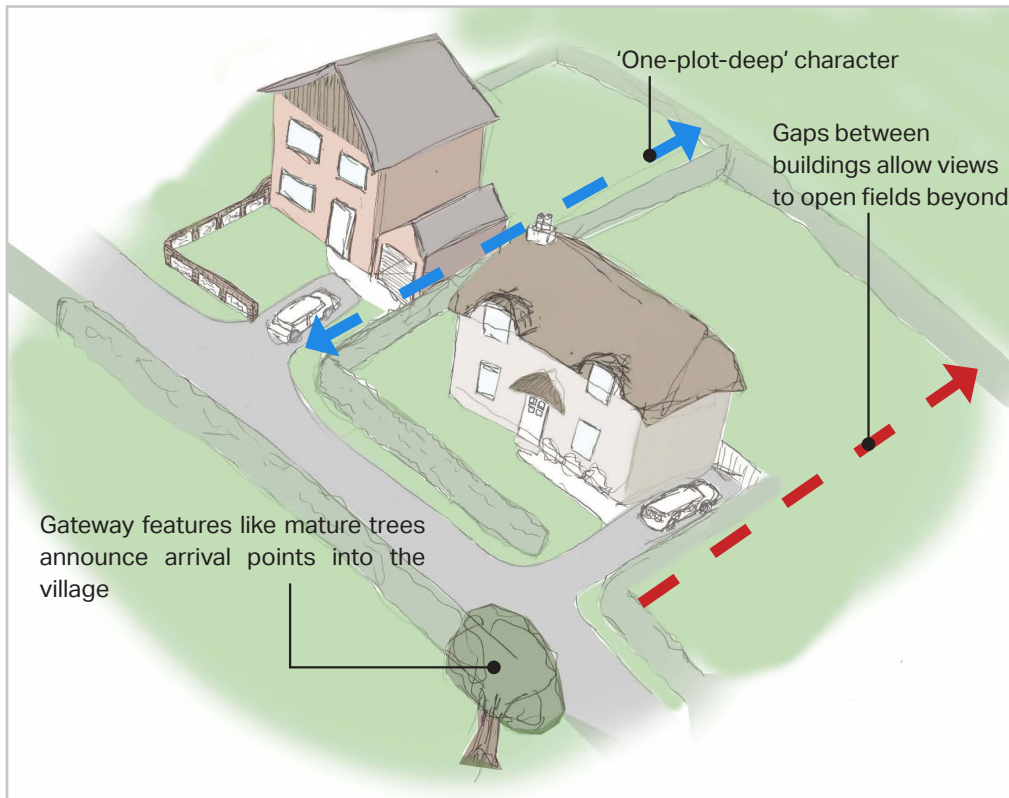


Illustration 1: Linear 'one-plot-deep' character

Area-wide Design Principles

- 1a. New developments are to reflect the linear 'one-plot-deep' character of character areas where this is a predominant characteristic, enabling views of the countryside across the area.
- 1b. Backland/infill development that does not reflect the linear 'one-plot-deep' character of the Plan Area should be resisted.
- 1c. Development on 'green fingers' or that erodes the character of 'green fingers' should be resisted, as this will change the rural character of the village.
- 1d. New developments should reflect the housing numbers and timescales set out in Policy SS5 of the Local Plan.
- 1e. Density in new development proposals should be appropriate to the location and respond to the rural character of the Plan Area. Where new development sits outside of the village and other residential character areas (i.e. Hackwood Lane and Station Road), its density should reflect adjacent village character areas (provided in Sections 3.4 and 3.5).
- 1f. New developments should provide housing sizes that meet local need (1, 2 and 3 bedroom houses).
- 1g. The layout of new developments should reflect the characteristic wide plots found across the Plan Area. This offers space for large trees and views to the countryside beyond, which is a defining feature of the area.
- 1h. The use of cul-de-sacs in new development would be contrary to the prevailing rural character of the Plan Area and should be resisted.
- 1i. Development proposals in or adjacent to the conservation area should consider the character and appearance of the conservation area and its setting.
- 1j. The existing gateways at both ends of Farleigh Road should be retained and enhanced, and new development should not be sited beyond these points.
- 1k. The densely vegetated gateway to Woods Lane from Basingstoke should be retained and reinforced to preserve landscape character.



The disused railway line is a distinctive feature that creates a gateway into Cliddesden



This development on Station Road maintained the linear 'one-plot-deep' character



This new development on Woods Lane is an example of backland development that has eroded the linear 'one-plot-deep' character of the Plan Area

Character Area Specific Design Principles

LCA01 Arable Land and Paddocks

- 1l. Open fields included in the conservation area, and 'green fingers' identified on Figure 4, should be retained to preserve the rural character of Cliddesden and to maintain views of the countryside experienced from the village.
- 1m. Any new development should follow the linear 'one-plot-deep' form and wide plots of Cliddesden village, to ensure that views of the surrounding countryside are preserved from within the village.

LCA02 Audley's Wood

- 1n. Settlement is limited to one or two large buildings with extensive grounds and any new development should respect this character.

LCA03 Farmlands and Woodlands

- 1o. Settlement is limited to scattered farmsteads and associated agricultural workers' dwellings and new development should respect this character.

LCA04 Hackwood Lane

- 1p. Housing is set in large individual plots surrounded by mature trees and hedgerows. New development should respect the density and scale of existing plots (see Section 3.4.4).

LCA06 Farleigh Road - thatch and barn & LCA08 Village Core

- 1q. The use of cul-de-sacs in new development would erode the historic nucleated pattern and linear character of the village and should be resisted.
- 1r. The sense of enclosure created by high hedges and walls within the village should be retained and enhanced.
- 1s. New development should be responsive to existing plot widths and densities (see Section 3.5.1 & 3.5.3).

LCA10 Woods Lane

- 1t. The prevailing character of Woods Lane is of large individual plots surrounded by mature trees and hedgerows. New development should respect the density and scale of existing plots (see Section 3.5.5). Backland development should be resisted as this would erode the 'one-plot-deep' linear character of Woods Lane.

Design Code 02

Building Typology

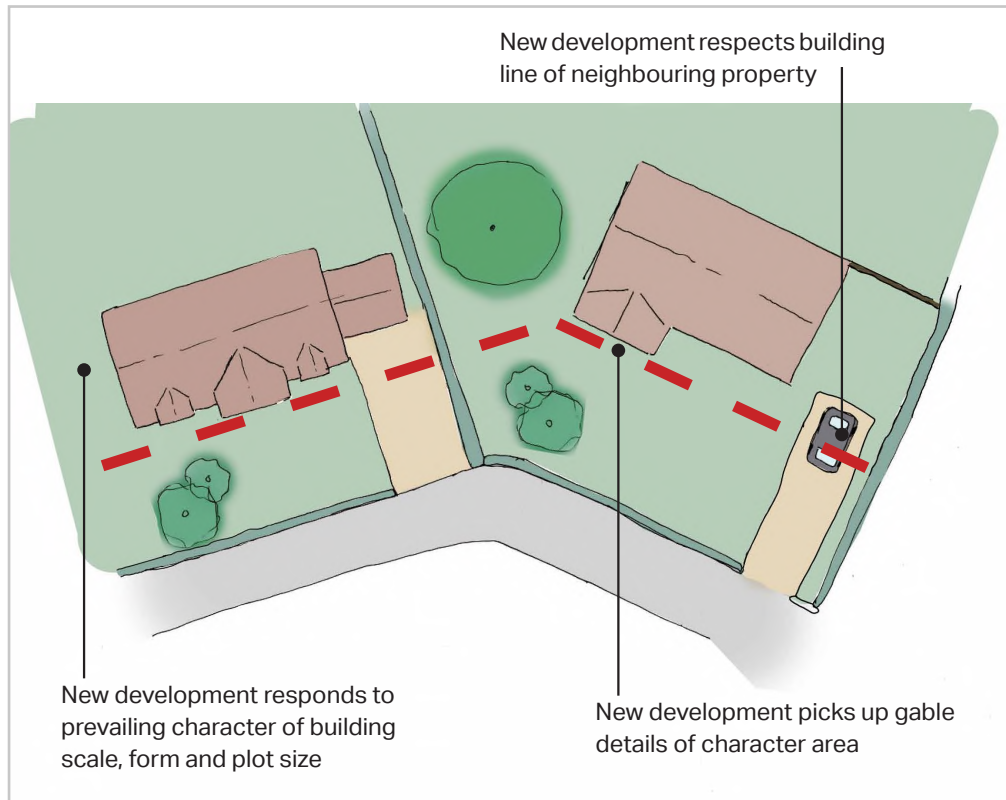


Illustration 2: Building Typology

Area-wide Design Principles

- 2a. New development should respond to the type, scale and form of existing buildings.
- 2b. The height of proposed development should relate to adjacent buildings and should not exceed the parameters set out in Table 1 opposite.
- 2c. New built form should emphasise the historic and rural character of the Plan Area and complement existing buildings.
- 2d. Residential buildings within the Plan Area are predominantly detached and set within generous plots (see Sections 3.4 and 3.5 for housing densities). New developments should respond to the prevailing character of building type and plot size.
- 2e. Farm buildings are an integral part of the character of the Plan Area, and where their traditional function is no longer economically sustainable, conversions to allow continued economic viability or to support tourism should be supported (refer to Local Plan Policies EP4 and EP5⁵).
- 2f. Future development should include a mix of land uses, such as office space, utilising opportunities to convert existing unused buildings within the Plan Area.



Example of a traditional black weatherboard barn in Farleigh Road

Character Area	Building typology	Building heights
LCA01 Arable Land and Paddocks	Detached/Semi-detached	Max. 2 storeys
LCA02 Audley's Wood	Detached	Max. 2 storeys
LCA03 Farmland and Woodland	Detached	Max. 2 storeys
LCA04 Hackwood Lane	Detached	Max. 1.5 storeys
LCA05 Station Road	Terraced	Max. 2 storeys
LCA06 Farleigh Road Thatch & Barn	Detached/Short Terraces	Max. 2 storeys
LCA07 Farleigh Road Semi-detached	Semi-detached/Detached	Max. 2 storeys
LCA08 Village Core	Detached/Semi-detached/Terraced	Max. 2 storeys
LCA09 Hoopersmead	Detached/Semi-detached	Max. 2 storeys
LCA10 Woods Lane	Detached/Semi-detached/Terraced	Max. 2 storeys

Table 1 Building Typology Parameters



Example of a converted barn in Farleigh Road now being used as offices

Character Area Specific Design Principles

LCA04 Hackwood Lane

2g. Bungalows and dormer bungalows set in large individual plots are the dominant building typology in this character, which sets it apart from other character areas. New development should respect this character, to ensure long-distance views from around the Plan Area are preserved.

LCA05 Station Road

2h. Short terraces of houses could be considered within this character area, providing they respected the 'one-plot-deep' character.

LCA09 Hoopersmead

2i. The dwellings in this character area are uniform in style, which is contrary to local landscape character and should not be repeated, as this would further erode the character of the Plan Area.

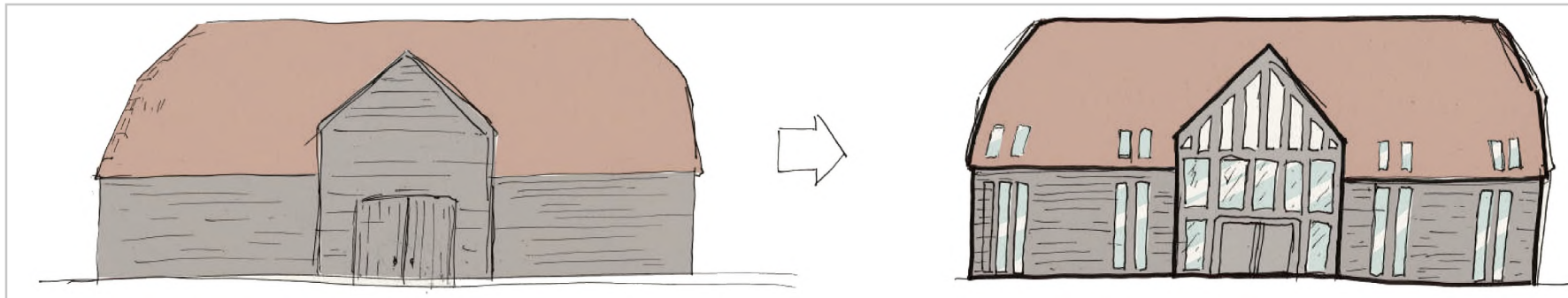


Illustration 3: A sensitive approach to barn conversion

Design Code 03

Architectural details and materials



The Black Barn, a converted black weatherboard barn in the Village Core, combines traditional materials with modern detailing to create a distinctive building in keeping with local character

Area-wide Design Principles

- 3a. Development should use a similar design language and high-quality materials to integrate with the surrounding area.
- 3b. Statutory listed buildings and their setting should be preserved and enhanced.
- 3c. Replacement of historic and traditional features, such as timber windows and doors, with uPVC and other non-traditional building materials should be resisted.
- 3d. Use of modern building materials that are unsympathetic with the rural character of the Plan Area, such as close boarded fencing, concrete or imitation slate tiles, should be resisted as these will harm landscape character.
- 3e. New development proposals should reflect the typical roof forms for that character area.
- 3f. Typical roof features such as chimney stacks, dormer windows, and finials of thatch roofs should be incorporated into new development proposals to correspond with the historic and rural character of the village.
- 3g. Dormers in the Plan Area should be set into the eaves of new/altered roofs. They should not dominate the building or the roofscape and should be smaller than windows on the same elevation.
- 3h. Rooflights should be low-profile ('Conservation' type), fitted to rear facing roofs and not visible from the road. They should also be fitted with blinds to reduce light pollution, which impacts dark skies.
- 3i. Innovative and creative material and design suggestions in new buildings and restorations should always reflect local character in their form, scale and massing.

Architectural Detail: Windows



Sash windows



Dormer windows



Full height windows



uPVC windows

- 3j. Future development should consider timber sash and casement with glazing bars to enhance the historic context of the Plan Area.
- 3k. The design of new windows should take reference from examples within the character area within which new development sits.
- 3l. Full height windows are appropriate for barn conversions.

Architectural Detail: Doors



Timber door



Door with thatch porch

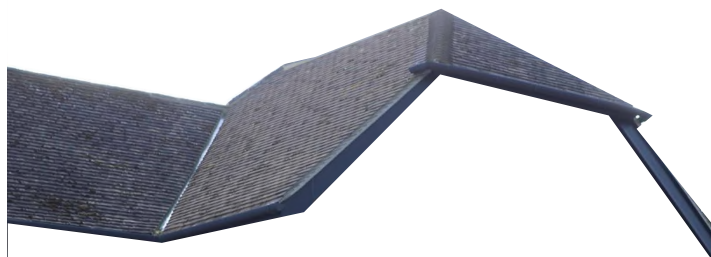


Brick porch



Wooden and thatch porch

- 3m. New development should carefully consider the relationship, placement, size and proportions of windows and door openings. Detailing should be appropriate to neighbouring buildings and to the general locality.
- 3n. Future development should consider doorways emphasised by porches.



Example of half-hipped roof



Decorative ridge with finials



Example of open-gable pitched roof



Dormer window set in eaves

Character Area Specific Design Principles

Table 2 sets out the Architectural Details and Materials Parameters for each Character Area in the Plan Area. Additionally, some specific principles relating to barns and outbuildings are set out below.

LCA01 Arable Land and Paddocks

3o. New barns and outbuildings should be composed of traditional brick and slate, as this is a key characteristic of this Character Area, and conversions should preserve existing wall and roof materials.

LCA06 Farleigh Road - thatch and barn

3p. New barns and outbuildings should be composed of traditional black weatherboard, and conversions should preserve existing wall and roof materials.

LCA08 Village Core

3q. New barns and outbuildings should be composed of traditional black weatherboard, and conversions should preserve existing wall and roof materials.

Character Area	Built Form Materials & Details	Roof form and materials
LCA01 Arable Land and Paddocks	Red brick/Flint	Hipped/Half-hipped/Thatch/Slate
LCA02 Audley's Wood	Red brick/Flint	Hipped/Half-hipped/Thatch/Clay Tile/Slate
LCA03 Farmland and Woodland	Red brick/Flint/Timber Sash and Casement windows	Hipped/Half-hipped/Open-gable/Slate
LCA04 Hackwood Lane	White render/red brick/Gabled dormers set in eaves	Hipped/Half-hipped/Slate/Clay tile
LCA05 Station Road	Red brick/Timber Sash and Casement windows	Hipped/Open-gable/Slate
LCA06 Farleigh Road Thatch & Barn	Red brick/White render/Single storey buildings with gabled dormers set in eaves/Prominent chimneys/Barns and conversions are typically black weatherboard.	Hipped/Half-hipped/Long Straw Thatch/Clay Tile
LCA07 Farleigh Road Semi-detached	Red brick/Porches/Gabled dormers set in eaves/Short chimneys	Hipped/Open-gable
LCA08 Village Core	Red brick/Flint/White render/Single storey buildings with gabled dormers set in eaves/Barns and conversions are typically black weatherboard.	Hipped/Half-hipped/Thatch/Slate/Clay Tile/Short chimneys
LCA09 Hoopersmead	Red brick/Porches/Single storey buildings with gabled dormers set in eaves	Hipped/Open-gable
LCA10 Woods Lane	Red brick/Flint/White render/Single storey buildings with gabled dormers set in eaves/Gravel driveways	Hipped/Half-hipped/Thatch/Slate/Clay Tile

Table 2 Architectural Details and Materials Parameters

Design Code 04

Building modifications and extension

Extensions to dwellings can have a significant impact on the character and appearance of the building, but also on the streetscene within which they sit. A well-designed extension can enhance the appearance of its street, whereas an unsympathetic extension can have a harmful impact, create problems for neighbouring residents and affect the overall character of the area.

The images below show an example of a building extension/modification which utilised particular characteristics of the character area to tie the whole building into its setting. A half-hipped roofline was chosen to match neighbouring buildings. The choice of traditional materials such as red brick and timber boarding and golden gravel driveway are in keeping with the character area and as a result the extension/modification enhances the character of Farleigh Road.



Farleigh Road 2015, © 2019 Google

Area-wide Design Principles

- 4a. Alterations and extensions within the conservation area should reflect local character through the use of characteristic materials and detailing.
- 4b. All extensions within the Plan Area should be appropriate to the mass, scale and design of the main building and should not exceed the height of the original or adjacent buildings. Two storey extensions should be constructed with the same angle of pitch as the existing roof.
- 4c. The form of extensions should respect the shape and style of the roof. Reference should be taken from the host building and the local vernacular to determine the most appropriate proportions for the extension.
- 4d. Innovative and creative material and design suggestions in extensions that complement the host building may be appropriate, but should always reflect local character in their form, scale and massing.
- 4e. Design Code 3 Architectural Details and Materials also applies to modifications and extensions.



Same building in 2019

Design Code 05

Building Line and Boundary Treatments

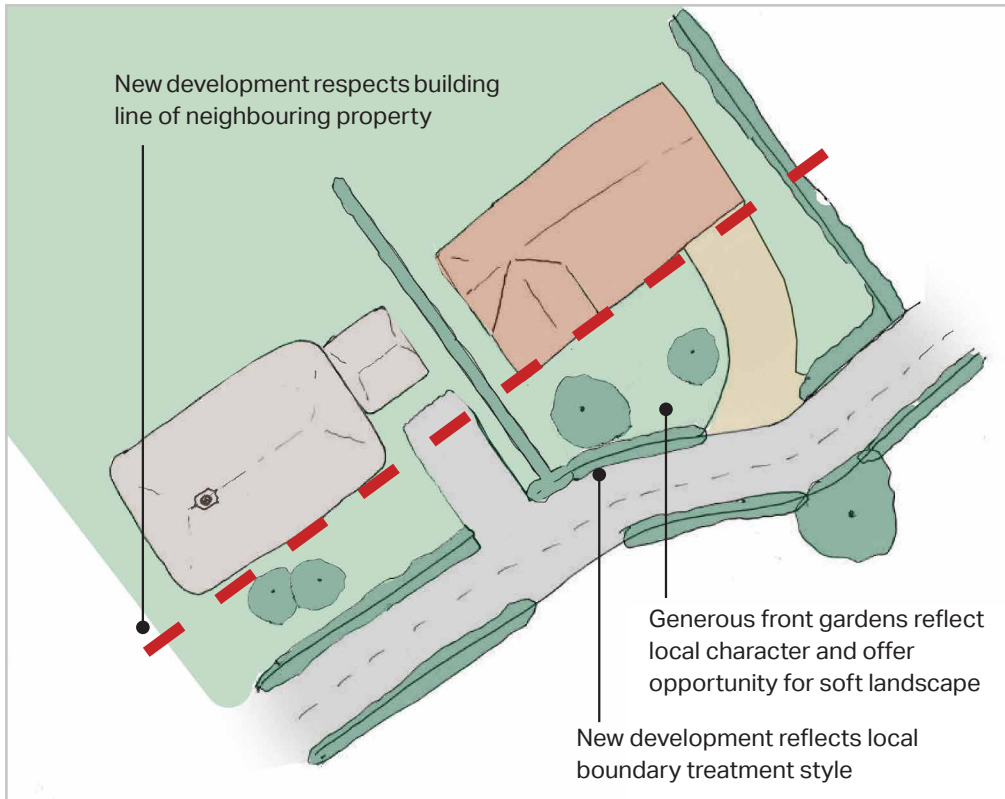


Illustration 4: Building line and boundary treatments

Area-wide Design Principles

- 5a. New development should be responsive to plot widths, proportions and positions within plots. Future building lines should contribute to the informal and historic streetscape.
- 5b. The materials proposed for new boundary features should be of high quality, responding to the character of boundary treatments in the area, and have strong attention to architectural detailing.
- 5c. Modern materials that complement the street scene may be appropriate where they enhance the local character.
- 5d. Boundary treatments should reinforce the continuity of the building line along a street (e.g. they should be positioned to tie in with adjacent properties).
- 5e. The alignment of proposed development should reflect the building line of neighbouring buildings.
- 5f. New developments should meet the minimum front garden distances set out in Table 3 opposite.



Examples of a modern and traditional brick and flint walls in the Plan Area

Character Area Specific Design Principles

LCA05 Farleigh Road semi-detached

5g. New development should respect the deep front gardens with trees and pedestrian only front access.

LCA10 Woods Lane

5h. Boundary treatments of new developments west of Coldharbour Cottages should be composed of dense tall hedgerows and trees, to retain the sense of enclosure.

5i. Boundary treatments of new developments east of Coldharbour Cottages should reflect traditional building materials, such as brick and flint.

Character Area	Boundary treatments	Front garden min distances (setback)
LCA01 Arable Land and Paddocks	Post and rail fence/Native hedges	To reflect adjacent residential character area
LCA02 Audley's Wood	Red brick and flint walls/Native hedges	Min. 15m
LCA03 Farmland and Woodland	Red brick and flint walls/Post and rail fence/Native hedges	To reflect adjacent residential character area
LCA04 Hackwood Lane	Post and rail fence/Native hedge/ Red brick and Flint walls	Min. 15m
LCA05 Station Road	Post and rail fence/Native hedges	Min. 8m
LCA06 Farleigh Road Thatch & Barn	Post and rail fence/Native hedges	Min. 10m
LCA07 Farleigh Road Semi-detached	Native hedges/post and rail fence	Min. 15m
LCA08 Village Core	Red brick and flint walls/Native hedges	Min. 6m
LCA09 Hoopersmead	Post and rail fence/Ornamental hedges	Min. 6m
LCA10 Woods Lane	Native hedges/Red brick and Flint walls	Min. 15m

Table 3 Building Line and Boundary Treatment Parameters



Deep front gardens along Farleigh Road, with hedgerow boundaries, mature trees and pedestrian only front accesses

Design Code 06

Green Infrastructure and Open Space



The pond is an important open space in the Village Core

Area-wide Design Principles

- 6a. Mature trees and hedges contribute to the rural character of the Plan Area and these should be retained in any development. See Table 4 for a list of suitable trees that should be used in each Character Area.
- 6b. Historic hedgerows, Ancient and semi-natural woodlands contribute to the enclosed character of the Plan Area, especially in the south, and these should be retained and enhanced to ensure their long-term survival. Development that proposes to remove historic hedgerows and woodland should be resisted.
- 6c. Around the village of Cliddesden 'green fingers' play an important role in Green Infrastructure and contribute to the rural character of the village (see Section 3.3.2 and Figure 4). 'Green Fingers' are primarily arable and paddock fields, which provide an important visual resource, whilst their hedgerows and boundary trees contribute significantly to the biodiversity of the Plan Area.
- 6d. Whilst there are no formal open spaces/parks in Cliddesden, there are a number of informal open spaces that contribute to the character of the village, such as the area around the pond and the church, and the vegetated disused railway line and these should be retained.
- 6e. The traditional orchard (Priority Habitat) that lies to the south of Woods Lane is the last of its kind in the Plan Area and should be retained and enhanced.



Native hedgerow boundaries play an important role in the Green Infrastructure of the Plan Area

- 6f. New development should reflect characteristic wide plot sizes and garden space, as these contribute to a network of green space. Front garden parameters can be found in Table 3 and housing densities in Sections 3.4 and 3.5.
- 6g. New developments should consider providing communal open space to ensure that sufficient space is allowed for trees and other vegetation.
- 6h. Vegetated boundaries are a key characteristic of Cliddesden and should be reflected in the design of new development. New hedges should be composed of a minimum of 5 woody native species (e.g. Hawthorn, Blackthorn, Field Maple, Alder Buckthorn, Elder, Wild privet, Dog Rose, Holly, Hazel, Dogwood, Spindle).
- 6i. Materials used in the public realm should be high-quality and respond to the character of Cliddesden.

Character Area	Soft landscape
LCA01 Arable Land and Paddocks	Large scale native trees (e.g. Beech, Yew and Lime)
LCA02 Audley's Wood	Large scale native trees (e.g. Beech, Yew and Lime)
LCA03 Farmland and Woodland	Large scale native trees (e.g. Beech, Yew and Lime)
LCA04 Hackwood Lane	Large scale native trees (e.g. Beech, Horse Chestnut and Lime)
LCA05 Station Road	Large scale native trees (e.g. Beech, Horse Chestnut and Lime)
LCA06 Farleigh Road Thatch & Barn	Large scale native trees (e.g. Beech, Yew and Lime)
LCA07 Farleigh Road Semi-detached	Strong hedged boundaries, large scale native trees (e.g. Beech, Lime)
LCA08 Village Core	Medium to large scale native trees (e.g. Birch, Yew, Lime)
LCA09 Hoopersmead	Strong hedged boundaries, small scale native trees (e.g. Cherry, Apple)
LCA10 Woods Lane	Tall hedged boundaries, large scale native trees (e.g. Beech, Lime)

Table 4 Soft landscape parameters

Character Area Specific Design Principles

LCA02 Audley's Wood

- 6j. The dense woodland character of this character area sets it apart from the rest of the Plan Area and this should be preserved.

LCA03 Farmlands and Woodlands

- 6k. Sunken lanes with high hedges are a key feature of this character area and should be retained and enhanced.
- 6l. Development proposals should include hedgerow boundaries with trees to reflect landscape character.



The disused railway line is a key feature of the Plan Area's Green Infrastructure



Sunken lanes with high hedges are key feature of the Plan Area, particularly the south

Design Code 07

Parking and utilities

Area-wide Design Principles

- 7a. Due to the narrow, winding nature of roads in the Plan Area, new development should include off street parking, either between plots, or as a rear courtyard. Parking parameters for character areas are shown in Table 5.
- 7b. New developments should have regard to the Basingstoke and Deane Parking SPD (2018). The number of parking spaces allocated per dwelling should, wherever possible, exceed the minimum standard set out in the SPD, given Cliddesden’s rural location.
- 7c. Parking should be sensitively integrated into new developments by planting hedgerows and trees to soften its impact.
- 7d. There is no formal street lighting in the Plan Area, which enhances its rural character, and therefore new developments should not provide street lighting, as this would erode the rural character. Other light pollution, such as security lighting and sky lights erodes dark night skies and should be resisted.

Character Area	Car parking
LCA01 Arable Land and Paddocks	Between plots
LCA02 Audley’s Wood	Between plots
LCA03 Farmland and Woodland	Between plots/Rear courtyard
LCA04 Hackwood Lane	Between plots
LCA05 Station Road	Rear courtyard
LCA06 Farleigh Road Thatch & Barn	Between plots
LCA07 Farleigh Road Semi-detached	Between plots
LCA08 Village Core	Between plots/Rear courtyard
LCA09 Hoopersmead	Between plots
LCA10 Woods Lane	Between plots/Rear courtyard

Table 5 Parking parameters

- 7e. Where septic tanks, treatment plants and fuel tanks have to be provided, these should be well-screened by vegetation and sensitively designed. Where possible these should be positioned in rear gardens to maintain the quality of the streetscape.

Design Code 08

Footpaths and Rights of Way

Area-wide Design Principles

- 8a. New development should provide new connections to existing public rights of way and cycle routes, to enhance the existing network.
- 8b. Roadside footpaths are not characteristic of the Plan Area and these erode rural character, so should be resisted in new developments.
- 8c. New development should provide lanes for pedestrian movement that mirror the pedestrian lanes already present in Cliddesden.
- 8d. New development which looks to extinguish or divert Rights of Way should be resisted.



View north-west from Public Right of Way between Hackwood Lane and Swallick Farm. Cliddesden Primary School can be seen in the right of the photo.

Design Code 09

Views and Landmarks

Area-wide Design Principles

- 9a. Views to key landmarks within and around the Plan Area should be retained through careful siting of new development. These include views to the Church, Village Hall, School, Basingstoke skyline and the village nestled into the valley.
- 9b. Long distance views of Hackwood House should be retained.
- 9c. Future development proposals within the Neighbourhood Plan Area should not be intrusive to the valley settlement.
- 9d. Sweeping countryside views along Station Road should be protected.
- 9e. Village views should be preserved by protecting the 'green fingers' around Cliddesden.
- 9f. Key views from and towards the conservation area should be retained and taken into consideration in new development.
- 9g. New development in Hackwood Lane should be limited to 1.5 storeys high to preserve the skyline in views from Station Road and Public Rights of Way. Current properties nestle into the countryside backdrop, but an increase in height would change this character.



Buildings along Hackwood Lane nestle into their countryside setting



View of Hackwood House from byway between Hackwood Lane and Swallick Farm



St. Leonard's Church

5. Deliverability

5.1 Delivery Agents

The Design Code will be a valuable tool for securing context-driven, high quality development in Cliddesden Neighbourhood Area. They will be used in different ways by different actors in the planning and development process, as summarised in the table below:

Actor	How they will use the Design Code
Applicants, developers and landowners	<p>As a guide to the community and Local Planning Authority expectations on design, allowing a degree of certainty – they will be expected to follow the codes as planning consent is sought.</p> <p>Where planning applications require a Design and Access Statement, the Statement should explain how the Design Codes have been followed.</p>
Local Planning Authority	<p>As a reference point, embedded in policy, against which to assess planning applications.</p> <p>The Design Code should be discussed with applicants during any pre-application discussions.</p>
Parish Council	As a guide when commenting on planning applications, ensuring that the Design Codes are followed.
Community organisations	As a tool to promote community-backed development and to inform comments on planning applications.
Statutory consultees	As a reference point when commenting on planning applications.

5.2 Deliverability

The National Planning Policy Framework (paragraph 35) emphasises that a proportionate evidence base should inform plans. Based on a 'positive vision for the future of each area; a framework for addressing housing needs and other economic, social and environmental priorities; and a platform for local people to shape their surroundings' (see paragraph 15). Policies should be 'underpinned by relevant and up-to-date evidence. This should be adequate and proportionate, focused tightly on supporting and justifying the policies concerned, and take into account relevant market signals' (paragraph 31). Crucially planning policies 'should not undermine the deliverability of the plan' (paragraph 34).

Neighbourhood Plans need to be in general conformity with the strategic policies in the corresponding Local Plan. Where new policy requirements are introduced (that carry costs to development) over and above Local Plan and national standards it is necessary to assess whether development will remain deliverable. The principles and codes set out in this document and within the Neighbourhood Plan's policies are aligned with national policy and non-statutory best practice on design.

The values and costs of construction between new developments and within new developments will vary based on location, situation, product type, design (architecture, place making etc.) and finish; and the state of the market at the point of marketing the properties. The codes herein constitute place making principles and guidance to help interpret and apply the statutory policies within the Neighbourhood Plan. Good design is not an additional cost to development and good placemaking can result in uplifts in value.



1885

CHURCH
OF ST. MARY

The Old Chapel

6. References

Basingstoke and Deane Borough Council Local Plan (2011 to 2029), Adopted May 2016.

Cliddesden Conservation Area Appraisal (2003), Basingstoke and Deane Borough Council.

Cliddesden Village Design Statement (2004), Basingstoke and Deane Borough Council.

Design and Sustainability Supplementary Planning Document (2018), Basingstoke and Deane Borough Council.

Hampshire Integrated Character Assessment, Hampshire County Council (2012): 8B: Basingstoke Open Downs. 1-9.

Landscape Assessment (2001), Basingstoke and Deane Borough Council.

Landscape, Biodiversity and Trees SPD (2018), Basingstoke and Deane Borough Council.

LDF Countryside Design Summary (2008), Basingstoke and Deane Borough Council. Appendix 14.

National Character Assessment, Natural England (2014) : 130 Hampshire Downs.

Parking Supplementary Planning Document (2018), Basingstoke and Deane Borough Council.



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APPENDIX B

Local Green Space Table

LGS site name and ref number	Site Description	Value and benefit to community
LGS 1: Village Pond and Surrounds , Farleigh Road (B3046 running through the village)	Small body of water surrounded by grass, shrubs & trees collecting excess rainwater from road and field run-off and preventing flooding of dwellings in Farleigh Road.	Views of the immediate village. The pond is at the staggered crossroads at the centre of the village and the heart of the Conservation Area. It is an historical landmark being used to collect rainwater and watering livestock for hundreds of years. The red King George V telephone kiosk, painted annually by volunteers, is sited here with a bench for people to meet, sit and relax. It is a collection and drop-off point for the school bus. and is highly valued by the community as noted in the first consultation.
LGS 2: Wildflower Bank , bordering Church Lane opposite The Village Hall	This is a small area of chalk grassland that has not been improved agriculturally. This area is cut twice a year, spring and autumn by HCC contractors. The arisings are removed by volunteers and added to compost heaps to provide extra habitat for wildlife.	Rural views to open countryside. The grassy bank is full of native flowers and much biodiversity and is a Green Corridor for native species. It is admired by all who pass by and emphasises the rural feel of the village.
LGS 3: Cliddesden Millennium Hall Grounds , Church Lane	The Village Hall is an important village amenity which is protected by Policy LWI. The first public demonstrated the value the public placed on this important local facility. It was built with funding contributions from the community and the National Lottery. Many trees have been planted in remembrance of late villagers. Part of the VDS “Green Fingers” The LGS designation protects the area around the village hall.	The grass areas surrounding the hall are mown regularly and the garden areas kept attractively and are vital for recreation and outdoor hall events.
LGS 4: Woodland , Farleigh Road	Land adjacent to Manor Farm on Farleigh Road. Planted with native trees to creating a buffer between Manor Farm business premises and Portsmouth Estates farm. All trees are native and healthy and left to grow on naturally providing a rich habitat for biodiversity.	Forms part of the “Green Lung” in the village reducing pollution and mitigating climate change

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<p>LGS 5: ‘The Jolly Farmer’ Public House Garden, Farleigh Road</p>	<p>The gardens to the rear of this Grade II listed public house adding to the local character of the settlement. The attractive gardens shaded by trees are maintained by regular mowing and weeding. picnic benches provide ample seating areas for customers.</p>	<p>Provides an area for people to meet and partake of refreshment and is the only public house in the village. Community engagement shows how important this amenity is. ‘The Jolly Farmer’ is highly valued by residents and visitors alike as witnessed in the first consultation where the subject of the pub raised great support.</p>
<p>LGS 6: Cleresden Meadow, between Farleigh Road at the entrance to the village and the M3 motorway</p>	<p>An arable reversion to wildflower meadow at the northern edge of the village. This was one of the sites chosen by Chris Packham for his UK 24 hour Bio-blitz in July 2018. Species records were entered into the national database. It is home to the rare Citron Plume moth (<i>hellinsia carphodactyla</i>) common only in the Isle of Wight with only 8 previous records from North Hampshire</p>	<p>Rural view. Extremely rich in biodiversity. This has become a sanctuary for many protected animal and plant species and is maintained by volunteers, one half being cut in late autumn in alternate years with arisings collected to create compost heaps for animals such as slowworms and grass snakes. The triangular meadow is bordered by mature trees and hedges on all three sides.</p>
<p>LGS 7: Southlea Meadow bordering Farleigh Road, opposite Southlea</p>	<p>This field, bordered by hedges, is an important “Green Finger” valued highly by residents as designated in the Village Design Statement (2004) as it breaks up the linear built environment and reflects the historic agricultural nature and local character of the village. It is sown with crops annually and harvested in late summer. There is a track leading up to the top of the field bordered by a hedge on the left, cut back in winter, and a grass strip and trees on the right. Overflow of water from the village pond is dispersed at the bottom of the field</p>	<p>Rural views to open countryside. The track is used by walkers as an unofficial footpath leading from Farleigh Road to the official footpath (FPI). Part of the VDS “Green Fingers.</p>
<p>LGS 8: Grass Areas and Paddocks behind Farleigh Road houses to the south and by the grain-dryer to the rear of Hoopers Mead and Century Close.</p>	<p>The paddocks behind the houses are mown by householders and the remaining grassland is mown annually by the local farmer. Hedges are trimmed each year.</p>	<p>Rural views from the public footpath. Part of the “Green Fingers”. Good habitat for mammals, birds, invertebrates and wildflowers</p>

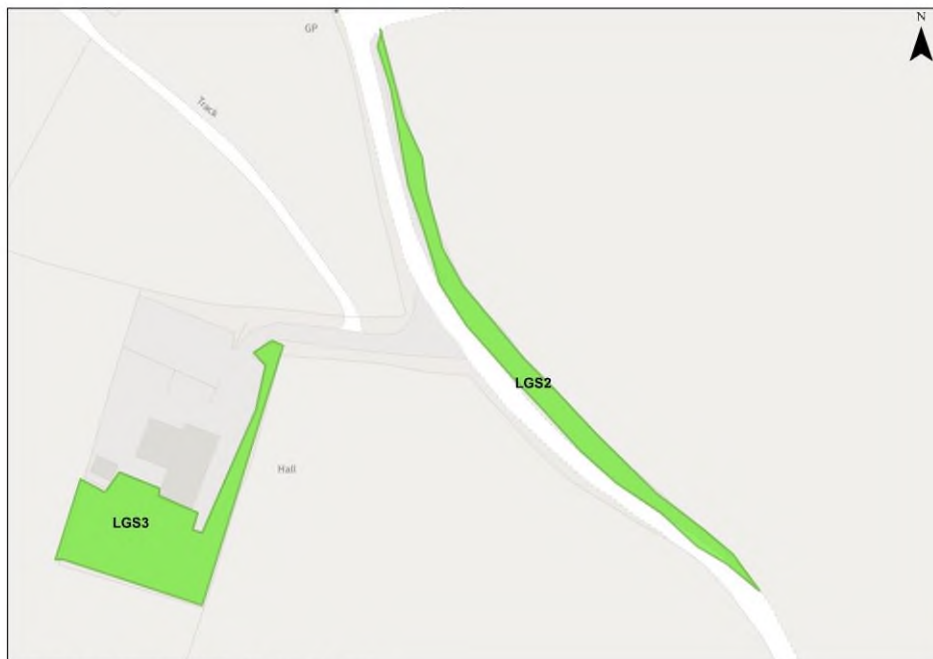
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APPENDIX C - Local Green Space Inset Maps

LGS 1: Village Pond and Surrounds



LGS 2: Wildflower Bank, Church Lane & LGS 3: Cliddesden Millennium Hall Grounds



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LGS 4: Woodland, Farleigh Road



LGS 5: 'The Jolly Farmer' Public House Garden



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LGS 6: Cleresden Meadow



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LGS 7: Southlea Meadow



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APPENDIX D

Important View Information

Map ref ¹	Location	Landscape character	Type of view point users	Direction of view
V1	Footpath FPI where it meets Footpath FP2 Grid Ref SU 63370 49599	Arable fields framed by ancient hedgerows	Ramblers, dog-walkers, walkers/joggers	South
V2	Top of the downward sloping track adjoining Footpath FPI Grid Ref SU 63410 49368	Arable field alongside an ancient hedgerow	Ramblers, dog-walkers, walkers/joggers	North
V3	Footpath FPI past the farm's grain-dryer Grid Ref SU 63490 49062	Arable field across to Railway Cottages, Old Station Master's House and Millar's Cottages	Ramblers, dog-walkers, walkers/joggers	East
V4	Bottom of Woods Lane by the M3 bridge Grid Ref SU 62300 49082	Arable field sweeping up to the ancient woodland of Middle Copse	Ramblers, dog-walkers, walkers/joggers, cyclists, vehicle drivers	South
V5	Top of Woods Lane Grid Ref SU 62621 49200	Large arable field sweeping down to the distant motorway	Ramblers, dog-walkers, walkers/joggers, cyclists, vehicle drivers	West
V6	Cliddesden Millennium Village Hall Grid Ref SU 63292 48926	Arable field sweeping across to the skyline	Ramblers, dog-walkers, walkers/joggers, Village hall visitors	East
V7	Cliddesden Primary School Grid Ref SU 63517 48389	Across a mosaic of arable fields and hedgerows down to Swallick	Ramblers, dog-walkers, horse-riders, cyclists, vehicle drivers, walkers/joggers, school pupils and parents	North
V8	Cliddesden Primary School Grid Ref SU 63495 48352	Across a mosaic of arable fields and hedgerows up to Farleigh Wallop	Ramblers, dog-walkers, horse-riders, cyclists, vehicle drivers, walkers/joggers, school pupils and parents	South
V9	Top of Swallick Byway (BOAT) off Hackwood Lane Grid Ref SU 63667 48577	Across a mosaic of arable fields and hedgerows down to Swallick Farm	Ramblers, dog-walkers, horse-riders, cyclists, walkers/joggers	East

¹ See Policy Map ENV4 in the CNP

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V10	Swallick Byway (BOAT) off Hackwood Lane Grid Ref SU 64014 48232	Across a mosaic of arable fields and hedgerows down to historic Hackwood House	Ramblers, dog-walkers, horse-riders, cyclists, walkers/joggers	North
V11	Station Road Grid Ref SU 63874 49042	Arable fields across to Hackwood Lane	Ramblers, dog-walkers, horse-riders, cyclists, vehicle drivers, walkers/joggers	East
V12	Station Road Grid Ref SU 63815 49125	Arable fields across to Pensdell Farm	Ramblers, dog-walkers, horse-riders, cyclists, vehicle drivers, walkers/joggers	North

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APPENDIX E – Important Views Images (ENV4)

View 1.



View 2



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View 3.



View 4.



View 5.



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View 6.



View 7.



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View 8.



View 9



Cliddesden Neighbourhood Plan – Referendum Version

View 10



View 11



Cliddesden Neighbourhood Plan – Referendum Version

View 12

